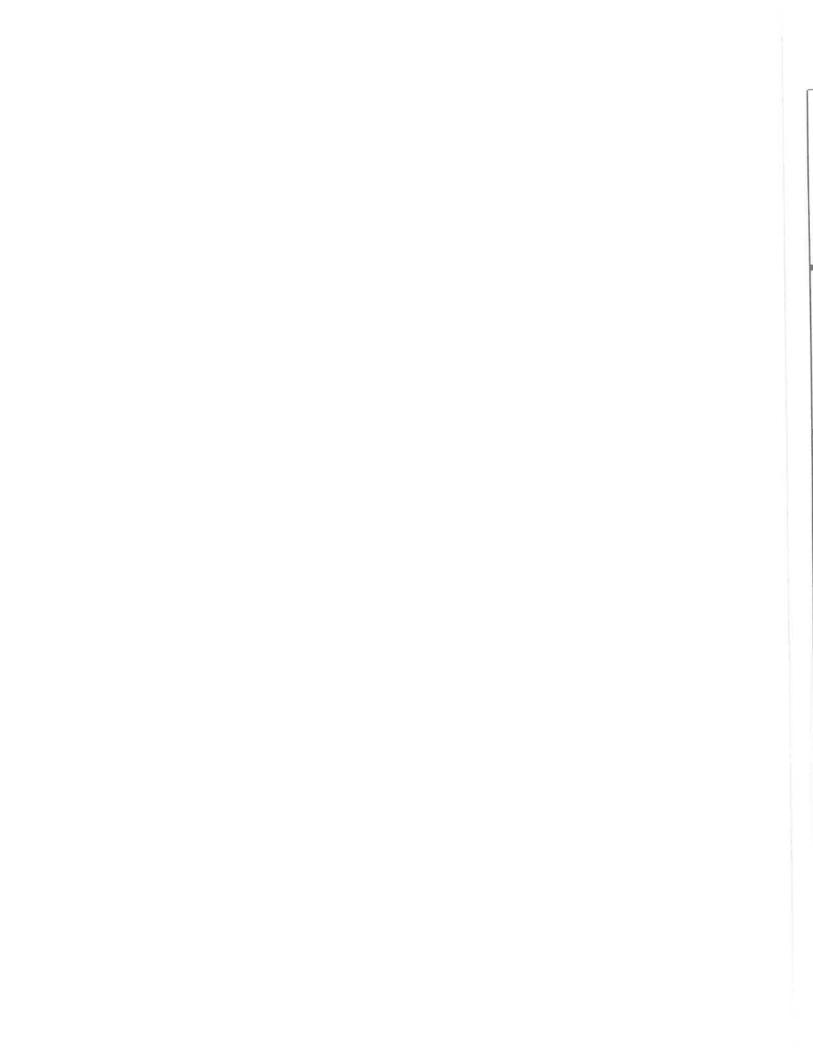
## QROOSE PERMIT

#### CITY OF NAPOLEON - BUILDING DEPARTMENT

	0111 01 1	AI OLLOIT	- DOILDI	ING DEPAR	IMENI
255	West Riverview	Avenue, N	apoleon, C	hio 43545	- 419-592-4010

Permit No	02014	lssued	6-27-90		y FEI	ES	BASE	PLUS	TOTA
Job Location	n_330 Union	St., Na	date poleon, OH	_ ø	BUILDIN	G	9.00	9.00	18.00
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Issued By	Brent N. Dar	man	Miles Van	— ф	PLUMBIN	۱G	coctoon		
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Agent_S	& N Builders	Inc	782-6350	中	ZONING	وحسيطة			richmochun.
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	- COUNTY	NAPOLEON			



# INSPECTION RECORD

	UNDERGROUND			NDERGROUND ROUGH-IN FINA					FINAL			
-	Туре	Date	Ву	Type	Date	Ву	Туре	Date	Ву	Туре	Date	Ву
	Building Drains			Drainage, Waste & Vent Piping			Indirect Waste			Drainage, Waste & Vent Piping		1
S Z	Water Piping							T-		Backflow Prevention		
PLUMBING	Building Sewer			Water Piping			Condensate Lines			Water Heater		
	Sewer Connection									FINAL APPROVAL		
	Refrigerant Piping			Refrigerant Piping			Chimney(s)			Grease Exhaust System		
SAL				Duct Furnace(s)			Fire Dampers			Air Cond. Unit(s)		
ANIC	Ducts/ Plenums			Ducts/ Plenums			□ Radiant Htr(s) □ Unit Htr(s)			Refrigeration Equipment		
MECHANICAL	1101101111			Duct Insulation		7	Pool Heater			Furnace(s)		
2				Combustion Products Vents			Ventilation ☐ Supply ☐ Exhst.			FINAL APPROVAL		
	Conduits & or Cable			Conduits/ Cable			□ Range □ Dryer			Temp Service Temp Lighting		
7	Grounding & or Bonding			Rough Wiring			☐ Generator(s) ☐ Motors			Fixtures Lampholders		
ELECTRICAL	Floor Ducts Raceways			Service Panel Switchboard			□ Water Htr □ Welder			Signs		
LECT	Service Conduit		-	Busways Ducts			□ Heaters □ Heat Cable			Electric Mtr. Clearance	re n	710,7
Ш	Temporary Power Pole			Subpanels			□ Duct Htr(s) □ Furnace(s)			FINAL APPROVAL		
	Location, Set- backs, Esmt(s)			Exterior Wall Construction			Roof Covering Roof Drainage			Smoke Detector		
	Excavation						Exterior Lath			Demolition (sewer cap)		_
	Footings & Reinforcing						□ Interior Lath □ Wallboard					
5NIC	Floor Slab			Interior Wall Construction			Fire Wall(s)			Building or Structure		
BUILDING	Foundation Walls			Columns & Supports			Fireplace Chimney					
Ф	Sub-soil Drain			Crawl Space  □ Vent □ Access			Attic  D Vent D Access		_		0/	
	Piles			Floor System(s)						FINAL APPROVAL BLDG. DEPT.	9/13	BL
				Roof System			Special Insp Reports Rec'd			Certificate of Occupancy Issued		
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ADDITIONAL	OIA	7	_								-	
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	NAPOLEON	TY OF	<b>C</b>			1						

#### PERMIT

# CITY OF NAPOLEON - BUILDING DEPARTMENT 255 West Riverview Avenue Napoleon Objo 43545 - 419-592-4010

Job Location address Lot sub-div or legal discript Issued By building official Owner name tel. Address John Holling Land Residential no. dwelling units Commercial Industrial New Add'n. Alter Remodel Mixed Occupancy Change of Occupancy  BUILDING BUILDING BUILDING BUILDING BELECTRICAL PLUMBING MECHANICAL DEMOLITION ZONING SIGN WATER TAP SEW. INSP. SEWER TAP TEMP. ELECT. ADDITIONAL PLAN REVIEW Elect. hrs  COMMERCIAL STRUCTURE SERVICE ADDITIONAL PLAN REVIEW Elect. hrs  TOTAL SEES	Job Location	BUILDING JELECTRICAL PLUMBING MECHANICAL DEMOLITION JOURNE	Struct	9.00	
Lot	Issued By building official  Owner name tel.  Address 330 Index 100 Index 10	JELECTRICAL PLUMBING MECHANICAL DEMOLITION JOURNA J	Struct	hrs	
Lot	Issued By building official  Owner name tel.  Address 330 Index 100 Index 10	PLUMBING MECHANICAL DEMOLITION ZONING JSIGN WATER TAP SEW. INSP. SEWER TAP TEMP. WATER TEMP. ELECT ADDITIONA PLAN REVIEW	Struct		
Issued By building official  Owner Once Process  Agent 1976  Address 330 thron Napoleon of Assas DeMOLITION  Agent 1976  Address 1137 5 Clinton Defiance Oil  Description of Use Residential No. dwelling units  Commercial Industrial New Add'n. Alter Remodel Nixed Occupancy Review Elect. hrs  Change of Occupancy Estimated Cost \$ 1500 00  Estimated Cost \$ 1500 00  Estimated Cost \$ 1500 00  Edistrict I of dimensions area front yd side yds rear yc through the process of th	Description of Use  Residential	MECHANICAL DEMOLITION ZONING JSIGN WATER TAP SEW. INSP. SEWER TAP TEMP. WATER TEMP. ELECT ADDITIONA PLAN REVIEW	Struct		
Owner Description of Use Residential no. dwelling units  Commercial Industrial New Add'n. Alter Remodel PLAN REVIEW Elect. hrs  Change of Occupancy Estimated Cost \$ 100.00 area front yd side yds rear yd side yd si	Description of Use  Residential	DEMOLITION  ZONING  JSIGN  WATER TAP  SEW. INSP.  SEWER TAP  TEMP. WATER  TEMP. ELECT  ADDITIONA  PLAN  REVIEW	Struct		
Address 330 Union Napoleon OR 4355 Agent	Address 330 Index 120 A3545  Agent builder-engetc. tel.  Address Description of Use Residential no. dwelling units  Commercial Industrial New Add'n. Alter Remodel Mixed Occupancy Change of Occupancy Estimated Cost \$ 200 Cost	ZONING SIGN WATER TAP SEW. INSP. SEWER TAP TEMP. WATER TEMP. ELECT ADDITIONA PLAN REVIEW	Struct		
Agent builder-eng-etc. Address Description of Use Residence OR SIGN  WATER TAP  SEW. INSP.  SEWER TAP  TEMP. WATER  TEMP. WATER  TEMP. ELECT.  ADDITIONAL Struct. hrs PLAN  REVIEW Elect. hrs  TOTAL FEES.  LESS MIN. FEES PAID date  BALANCE DUE.  Discription of Use Residence OR SIGN  WATER TAP  TEMP. WATER  TEMP. ELECT.  ADDITIONAL Struct. hrs PLAN  REVIEW Elect. hrs  TOTAL FEES.  LESS MIN. FEES PAID date  BALANCE DUE.  WORK INFORMATION:  Size: Length Width Stories Ground Floor Area  Height Building Volume (for demo. permit). cu. ft.  Electrical: brief description  Mechanical: brief description  Mechanical: brief description  Sign: Dimensions. Sign Area	Agent builder-engetc. tel.  Address Description of Use Description o	SIGN WATER TAP SEW. INSP. SEWER TAP TEMP. WATER TEMP. ELECT ADDITIONA PLAN REVIEW	L Struct		
builder-eng-etc.  Address 137 & Clinton Defines OR Description of Use Residence OR Description	builder-engetc.  Address  Description of Use  Residential  no. dwelling units  Commercial  Industrial  New  Add'n.  Alter  Remodel  Mixed Occupancy  Change of Occupancy  Estimated Cost \$  ZONING INFORMATION  district  lot dimensions  area  max hgt  no pkg spaces  no ldg spaces  max	WATER TAP SEW. INSP. SEWER TAP TEMP. WATER TEMP. ELECT ADDITIONA PLAN REVIEW	L Struct		
Description of Use    WATER TAP   SEW. INSP.	Residential	SEW. INSP. SEWER TAP TEMP. WATER TEMP. ELECT ADDITIONA PLAN REVIEW	L Struct		
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TEMP. WATER TEMP. ELECT.  New Add'n. Alter Remodel REVIEW Elect. hrs  Mixed Occupancy Change of Occupancy Estimated Cost \$ 1500.00     Consider the content of the content	Commercial Industrial New Add'n. Alter Remodel Mixed Occupancy Change of Occupancy Estimated Cost \$  ZONING INFORMATION  district lot dimensions area max hgt no pkg spaces no ldg spaces max	TEMP. ELECT ADDITIONA PLAN REVIEW	L Struct		
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brief description  Mechanical:	Plumbing:				
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Date June 27, 90 Applicant Signature owner-agent	Date Applicant Signature ///	4 10 /	owner-agent		
	White-Building Department Yellow-Applicant Pink-Electrical Ins		-Clerk-Treasurer	Gold-County Auditor	

## INSPECTION RECORD

	UNDERGR	OUND	1 1 1	September 1995	- Maria	ROUG	H-IN	naviF)	Tutel	FINAL		
J	Туре	Date	Ву	Туре	Date	Ву	Туре	Date	Ву	Туре	Date	В
	Building Drains			Drainage, Waste & Vent Piping	n+ln	NI I	Indirect Waste			Drainage, Waste & Vent Piping	en l	
S N	Water Piping				mar :	II J. F	T. W. Warming			Backflow Prevention		
PLUMBING	Building Sewer			Water Piping			Condensate Lines			Water Heater	iton	
	Sewer Connection				Tun	repri				FINAL APPROVAL	u.v.o	
	Refrigerant Piping			Refrigerant Piping		Ehr.	Chimney(s)			Grease Exhaust System		
SAL				Duct Furnace(s)	. ==	A q	Fire Dampers			Air Cond. Unit(s)		0
MECHANICAL	Ducts/ Plenums			Ducts/ Plenums		V II is	☐ Radiant Htr(s)☐ Unit Htr(s)			Refrigeration Equipment		
ECH				Duct Insulation		VT-	Pool Heater			Furnace(s)		
2				Combustion Products Vents		Marin I	Ventilation ☐ Supply ☐ Exhst.			FINAL APPROVAL		
T	Conduits & or Cable			Conduits/ Cable			☐ Range ☐ Dryer			Temp Service Temp Lighting		
AL	Grounding & or Bonding			Rough Wiring			☐ Generator(s) ☐ Motors			Fixtures Lampholders		
TRIC	Floor Ducts Raceways			Service Panel Switchboard			□ Water Htr □ Welder			Signs	iz III	
ELECTRICAL	Service Conduit			Busways Ducts			☐ Heaters ☐ Heat Cable			Electric Mtr. Clearance	ole III	
ш	Temporary Power Pole			Subpanels	M. JEE		☐ Duct Htr(s)☐ Furnace(s)☐	Sec.		FINAL APPROVAL		
	Location, Set- backs, Esmt(s)			Exterior Wall Construction	180		Roof Covering Roof Drainage			Smoke Detector		
	Excavation						Exterior Lath			Demolition (sewer cap)		
	Footings & Reinforcing						□ Interior Lath □ Wallboard					
SUNC	Floor Slab			Interior Wall Construction			Fire Wall(s)			Building or Structure		
BUILDING	Foundation Walls			Columns & Supports			Fireplace Chimney					
ш	Sub-soil Drain			Crawl Space  □ Vent □ Access			Attic □ Vent □ Access					
	Piles			Floor System(s)						FINAL APPROVAL BLDG. DEPT.	واواليو	
				Roof System			Special Insp Reports Rec'd			Certificate of Occupancy Issued	rouzin	
		NSPE	CTIO	NS, CORRECTIO	NS, ET	C.	INSPI	ECTIC	NS,	CORRECTIONS, E	TC.	
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ADDITIONAL								1 mar	ng A			-
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1004 NAGEL HOMS 599-8868 WSRK 782-6350

#### APPLICATION

for

# RESIDENTIAL BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, PERMITS and DEMOLITION PERMIT from the

Entry No.	255 West	CITY OF NAPOLE Riverview Ave. Napol	IN - BUILDING DE eon, Ohio 43545	PARTMENT Po. 419-592-40	010		
Permit No. 02014	Issued			k.Fermits Reg.		Fees Plus	Total
Job Location 33	O UNION St.	NAPOLON OF	110	Building	900	900	1800
Lot #5 ncc	GANN - HARRISON div. or legal disc.		*******	_ Electrical _		Z.	
Issued By Bren	In Damman	## ### ### ## ## ## ### ### ## ## ## ##					
	ding official PRECHT						
	MADA MAPAKA						
	Buiders INC.						
	SOUTH CLINT						
	ADD 1/2/46'		,				
	GE ARGA			Sever Tao			
Residential					,		
no.d	welling units Industri						
	Alter				struc.		
				brau	Elect.		
Change of Occupancy							
stimated Cost \$	500.00						
ZONING INFORMATION				Balance Due	date		1800
district	116.5×66						/ ()
	lot dimensions	area	front.	•	side yds.		
max hgt 35	NO oko spaces	no ldg spaces	max cover 45%			da	te appr
ORK INFORMATION:							
UILDING: 6	arage F1. Area	Basement !	1. Area	Se	cond Floor Area		
ize: Length	Widths	tories Grow	und Floor Area _			**********	
Height	Building Vol	ume (for demo. permit	1				en få
escription of Work:	ADD 12x6	ROOM TO	BC USE	D AS	PAIDIGL	ROOM	
				Jbl	V-27-1990		

CITY OF MAPOLEON

Continue on Back Side for Electrical, Plumbing and Mechanical and other Information;

ELECTRICAL: Electrical Contractor	Рп.
Address	Estimated Cost \$
Type of work: New Service change Rewiring Additional Wiring	VPS0
Size of service Underground Overhead	No. of new circuits
Description of work:	
PLUMBING: Plumbing Contractor	Pn
Address	Estimated Cost \$
Water Tap Req SizeType of Pipe	Water Dist. Pipetype
yes no San. Sewer Tap Req Size Type of Pipe yes no	Dr.Waste Vt.Pipe
yes no St. Sewer Tap Req SizeType of Pipe	Street to be Opened
yes no Main Building Drain Size Main Vent Pipe Size	yes no <u>List Number of Plumbing Fixtures Below</u>
Water Closets Bathtubs Showers Cavatories Kitchen Sink	Disposal Dishwasher Clothes Washer
Floor Drains Other Fixtures: Type	No
Description of Work:	
MECHANICAL: Mechanical Contractor	Pn.
Address	
Heating System: Forced Air Sravity Hot Water Steam	Unit Heaters Radiant Baseboard
Type of Fuel: Electric Natural Gas Propane Wood Coal Sol	ar Geothermal Other
No. of Heat.Zones Hot Water:(One Pipe Two Pipe Series Loop) E	Electric Heat:(No of Circuits) No. of Furnaces
No. of Hot Air Runs No. of Hot Water Radiators Total Heat Loss	Rated Capacity of Furnace/Boiler
Location of Heating Units: Crawl Space Floor Level Attic Suspended	Roof_ Outside_ Other
Description of Work	
DRAWINGS REQUIRED: All Applications must be Accompanied by Two Complete sets of FLODR PLANS, STRUCTURAL FRAMING PLANS, EXTERIOR ELEVATIONS, SECTIONS and DETAIL HEATING LAYOUT ETC. All plans shall be <u>DRAWN ID SCALE</u> . Show all existing structure Locations.	S, STAIR DETAILS, ELECTRICAL LAYOUT, PLUMBING ISOMETRIC,
READ AND SIGN BELOW; The undersigned hereby makes application for a permit for work in strict accordance with all applicable provisions of the current edition and Zoning Codes, the Napoleon Engineering Dept. Rules and Regulations, Standar Napoleon Code of Ordinances.	of the C.A.B.O. Building Code, the Napoleon Building
Date . OFOS 6- / 1901 . S   1111   Signature of Applicant / 1724	Application not valid without signature

MCCOLLOGAN 30 XJTD



# City of NAPOLEON, OHIO

255 RIVERVIEW AVENUE - (419) 592-4010 NAPOLEON, OHIO 43545-0151

Mayor Steven Lankenau

Members of Council James Hershberger, President Terri A. Williams

John E. Church Randy J. Bachman Matthew G. Gloor Robert G. Heft

City Manager Terry Dunn

Finance Director Rupert W. Schweinhagen

Law Director Michael J. Wesche

Prosecuting Attorney Thomas L. Bischoff

June 13, 1990

Mr. Toby Nagel S & N Builder, Inc. 1137 South Clinton Street Defiance, Ohio 43512

Re: Building Permit
Oscar Precht

Dear Toby:

Enclosed please find information related to finishing up this building permit.

Please bring in the following:

- 1) Section view of the wall and crawl space.
- Detail of footer construction.
- 3) Check with Zoning Administrator to verify that setbacks are adequate.

If you have any questions, please call.

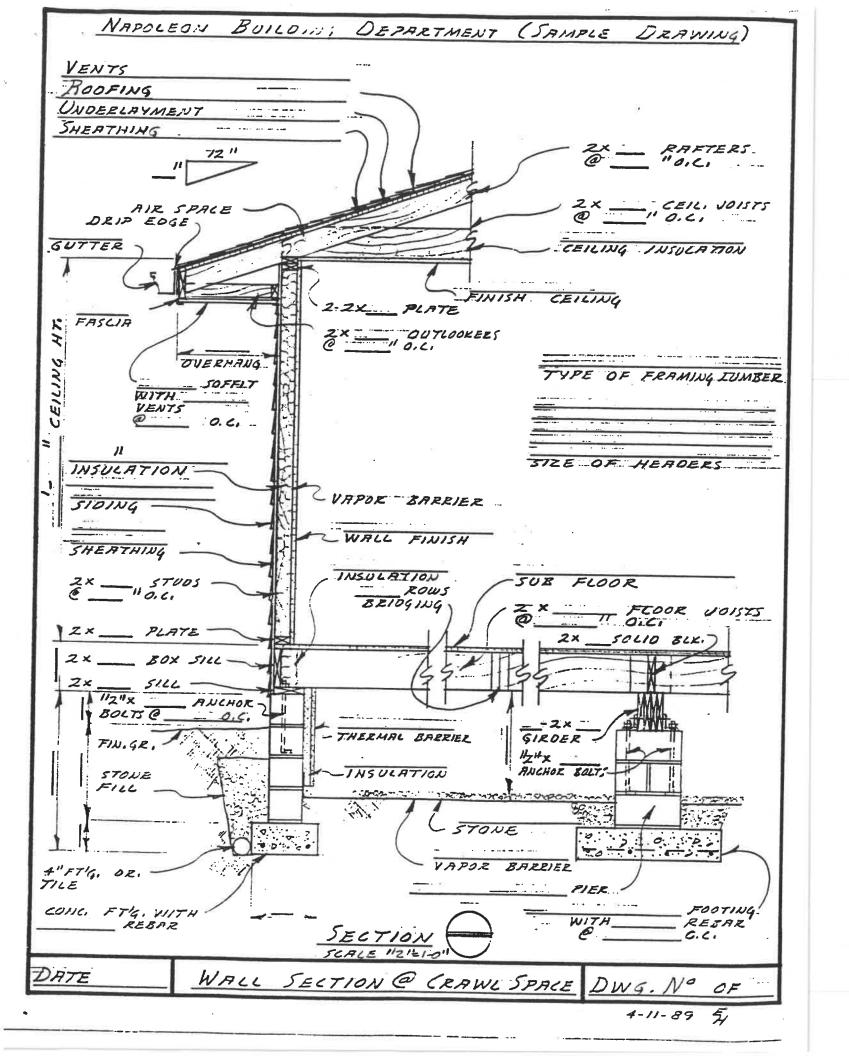
Respectfully,

Marc S. Gerken, P.E.

City Engineer

Enclosure

MSG:skw



#### EFFECTIVE 1-1-88

## Section 150.09 PERMIT FEES.

- (A) Fees for all building construction shall be based upon the cost of the operation as estimated by the building commissioner and shall be calculated as follows:
  - (1) Residential.
    - (a) For total valuation of less than \$50 no permit or fee required.
    - (b) For valuation of \$50 to \$500 \$9 plus an additional fee of \$9 for each additional \$1,000, or fraction thereof of total valuation to and including \$4,000, plus an additional fee of \$2 for each additional \$1,000 or fraction thereof, of total valuation to and including \$100,000, plus an additional fee of \$.80 for each additional \$1,000 or fraction thereof of total valuation exceeding \$100,000.
    - (c) For any building used as an appurtenance, such as a garage and not having over four hundred square feet of floor space, a fee of \$3 shall be charged, for each additional 100 square feet or fraction thereof, an additional fee of \$.50 shall be charged.
  - (2) Residential Electric Permit Fee.
    - (a) Base charge. A base charge of \$15 shall be included on each electrical permit for which a fee is charged. In addition to the base charge the following fees shall be required: Wiring charge for each circuit installed \$3. Wiring for changes or additions to existing wiring not requiring additional circuits no additional fee.
    - (b) Minor repair. A no-fee permit may be issued for the purpose of accomplishing minor repair or maintenance work. Work shall be considered minor repair work if it involves the installation or repair of 3 outlets or less on the existing circuit.

- (c) Reinspection fees. If through negligence or poor workmanship on the part of the contractor, it is necessary for the inspector to make more than two inspections of a particular phase of electrical installation, a fee shall be charged in addition to the fee schedule for each additional inspection. The administrator of the department of building and zoning shall make an estimate of the time required for reinspection procedures, and establish a fee adequate to reimburse the City for expenses incurred.
- (3) Residential Plumbing Permit Fees. For the permit, rough and final inspection fee for plumbing installation \$9 plus \$3 for each trap. Reinspection fee \$5.
- (4) Residential Heating Permit Fees.
  - (a) Warm air heating systems. Permit and inspection fee for new furnaces - \$18 up to and including 9 hot air heat runs. An additional fee of \$2 shall be added for each additional heat run. Permit and inspection fee for replacement or remodeling of warm air heating systems -\$5.

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Residential Building Permit Fees For All Buildings, Structures, Room Additions, And Accessory Structures
Over 400 SQ FT In Size

Valuat	ion		
0	- 49 =	0.00	47,001 - 48,000 = 133.00
50	- 500 =	_	48,001 - 49,000 = 135.00
501			49,001 - 50,000 = 137.00
1,501			50,001 - 51,000 = 139.00
2,501			51,001 - 52,000 = 141.00
3,501			52,001 - 53,000 = 143.00
4,001	•		53,001 - 54,000 = 145.00
5,001	- 6,000 =	49.00	54,001 - 55,000 = 147.00
6,001	<b>-</b> 7,000 =		55,001 - 56,000 = 149.00
7,001	- 8,000 =		56,001 - 57,000 = 151.00
8,001	- 9,000 =		57,001 - 58,000 = 153.00
9,001	- 10,000 =		58,001 - 59,000 = 155.00
11,001	- 11,000 = - 12.000 =	59.00	59,001 - 60,000 = 157.00
12,001		61.00	60,001 - 61,000 = 159.00
13,001	-13,000 = -14,000 =	63.00	61,001 - 62,000 = 161.00
14,001	- 15,000 =	65.00 67.00	62,001 - 63,000 = 163.00
15,001	- 16,000 =	69.00	63,001 - 64,000 = 165.00
16,001	- 17,000 <b>=</b>	71.00	64,001 - 65,000 = 167.00 65,001 - 66.000 = 169.00
17,001	- 18,000 =	73.00	
18,001	-19,000 =	75.00	66,001 - 67,000 = 171.00 67,001 - 68,000 = 173.00
19,001	-20,000 =	77.00	68,001 - 69,000 = 175.00
20,001	-21,000 =	79.00	69,001 - 70,000 = 177.00
21,001	-22,000 =	81.00	70,001 - 71,000 = 179.00
22,001	-23,000 =	83.00	71,001 - 72,000 = 181.00
23,001	- 24,000 =	85.00	72,001 - 73,000 = 183.00
24,001 25,001	- 25,000 =	87.00	73,001 - 74,000 = 185.00
26,001	- 26,000 = - 27.000 =	89.00	74,001 - 75,000 = 187.00
27,001	- 27,000 = - 28,000 =	91.00	75,001 - 76,000 = 189.00
28,001	- 29,000 =	93.00	76,001 - 77,000 = 191.00
29,001	- 30,000 =	95.00 97.00	77,001 - 78,000 = 193.00
30,001	- 31,000 =	99.00	78,001 - 79,000 = 195.00 $79,001 - 80,000 = 197.00$
31,001	- 32,000 =	101.00	
32,001	-33,000 =	103.00	80,001 - 81,000 = 199.00 81,001 - 82,000 = 201.00
33,001	-34,000 =	105.00	82,001 - 83,000 = 203.00
34,001	-35,000 =	107.00	83,001 - 84,000 = 205.00
35,001	-36,000 =	109.00	84,001 - 85,000 = 207.00
36,001	-37,000 =	111.00	85,001 - 86,000 = 209.00
37,001	-38,000 =	113.00	86,001 - 87,000 = 211.00
38,001	<b>-</b> 39,000 =	115.00	87,001 - 88,000 = 213.00
39,001	- 40,000 =	117.00	88,001 - 89,000 = 215.00
40,001 41,001	- 41,000 = - 43,000 =	119.00	89,001 - 90,000 = 217.00
42,001	-42,000 = -43,000 =	121.00	90,001 - 91,000 = 219.00
43,001	4.4 000	123.00	91,001 - 92,000 = 221.00
44,001	- 44,000 = - 45,000 =	125.00 127.00	92,001 - 93,000 = 223.00
45,001	- 46,000 =	127.00	93,001 - 94,000 = 225.00
46,001	- 47,000 <b>=</b>	131.00	94,001 - 95,000 = 227.00
•	,	77.00	95,001 - 96,000 = 229.00

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96,001 - 97,000 = 231.00

97,001 - 98,000 = 233.00

98,001 - 99,000 = 235.00

99,001 - 100,000 = 237.00
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100,001 And Above Add \$.80 Per \$1,000 Or Fraction Thereof.

Water Tapping Fees Within The City Limits.

1 inch diameter size \$375.00

1 1/2 inch diameter size \$560.00

2 inch diameter size \$1,000.00

Larger than 2 inch shall be determined by the cost of the installation plus 25%

Water Tapping Fees Outside the City Limits.

1 in diameter size \$700.00

1 1/2 inch diameter size \$925.00

2 inch diameter size \$1,650.00

Larger than 2 inch shall be determined by the cost of the installation plus 75%

Sewer Inspection Fees Shall Be As Follows.
Single-Family and Two-Family Dwellings \$60.00
Multi-Family Dwellings, Commercial & Industrial
Within The City Limits.

First 50 Linear Feet \$100.00
Each Additional 100 Linear Feet \$10.00
All Commercial And Industrial Outside The City and Residential as per 52.13 (C) \$600.00
Bond For All Street Openings \$250.00
Large Street Openings, Bond To Be Set By The Engineer

Sewer Tap Charges.

For subdivisions with single-family dwellings, the charge shall be based upon a minimum of \$87 per 7,200 square feet of land exclusive of streets or a charge of \$87 per dwelling unit location, whichever is greater. Dwelling unit location is defined as a lot established by the subdivider by metes and bounds survey or any other means which describes an area of ground to be used for one single dwelling unit.

For subdivisions with multi-family units of any nature, or mobile home courts, the charge will be \$87 per individual dwelling unit, or \$87 per 7,200 square feet of land exclusive of dedicated streets, whichever is greater.

The charge shall be assessed for any new construction, remodeling, or reconstruction at the time of the issuance of the building permit, or if there is no building permit required, prior to the commencement of construction; it shall also be assessed for any buildings or structures existing on land which is annexed, at the time of annexation.

This tap charge shall be paid or secured to be paid before any building permit may be issued by the proper authority of the City, or before any construction is commenced if no permit is required. The charge shall be paid only for the area upon which construction is commenced or for the area for which the building permit is granted.

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The builder and subdivider shall make an application to the Engineering Department of the City, for determination of the tap charge prior to issuance of a building permit or commencing construction. This application shall be on such forms as are prescribed by the Engineering Department of the City, and shall designate the area for which the tap charge determination is required. After the determination of the tap charge, the charge shall be paid or secured to be paid to the Finance Director, at which time a building permit may be issued or construction commenced only for the area for which the tap charge was paid or secured to be paid.

No building permit shall be issued or construction commenced unless the tap charge is computed and paid or secured to be paid.

Sign Permit Fees

Signs And Billboards

Per Unit

\$5.00

Plus \$.08 Per SQ FT Including All Advertising Sides

Awning And Marquees

\$4.00

Per Unit

Plus \$1.00 Per Each \$500.00 Of Cost

Demolition And Moving Structures

Notice Sent To Adjoining Property Owners Notification To All Utility Companies Health Department Showing No Vermin Certificate Of Insurance

\$100,000 Per Person, \$300,000 Per Incident, \$100,000 Damage Liability

Complete Within 90 Days

Lot Filled And Graded

Foundation And Basement Floor Broken Up Portable Fire Extinguisher May Be Required Fence May Be Required Around Demolition Site

Sanitary And Storm Sewer Capped (Inspection

Required Before Backfill)

Fee: 12,000 CU FT Or Less

For Each Additional 12,000 CU FT \$ 5.00 No Fee For Buildings 80 SQ FT Or Less

Permit Required

Inspection After Completion

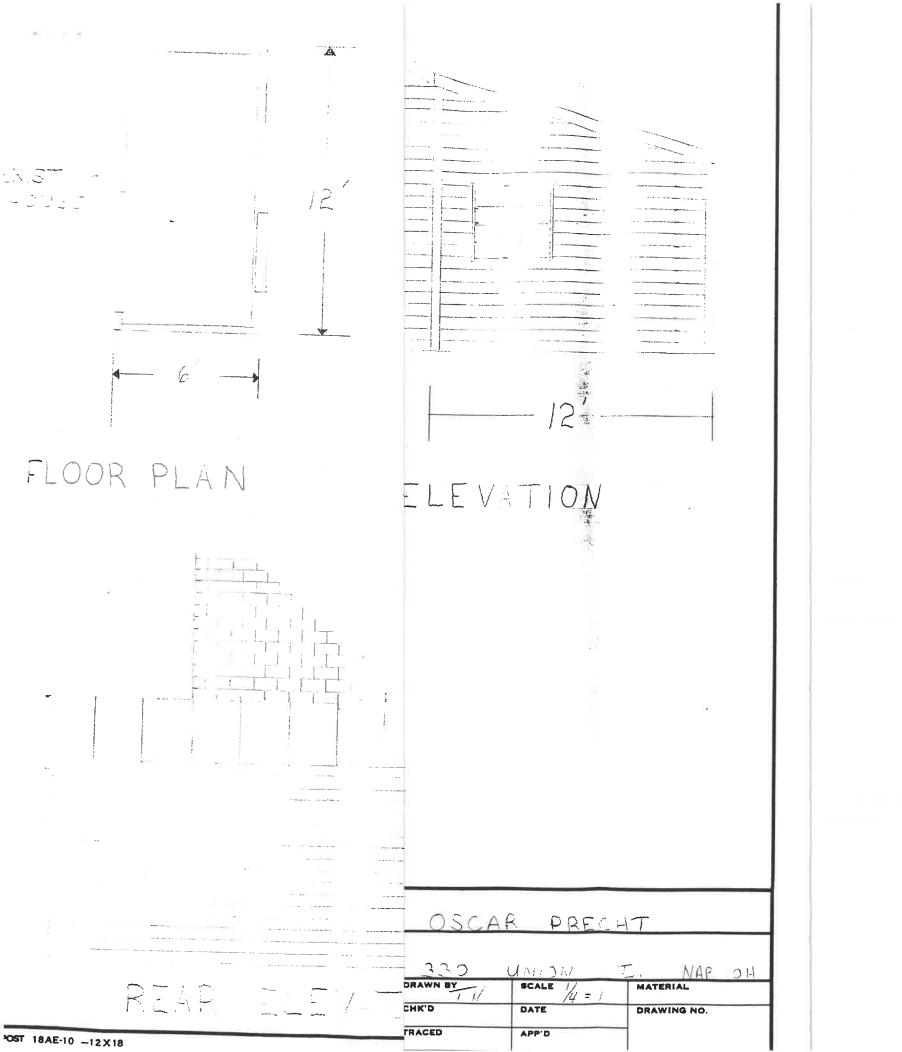
Penalty \$25.00 For Each Day Of Violation

Books, Maps And Drawing Fees

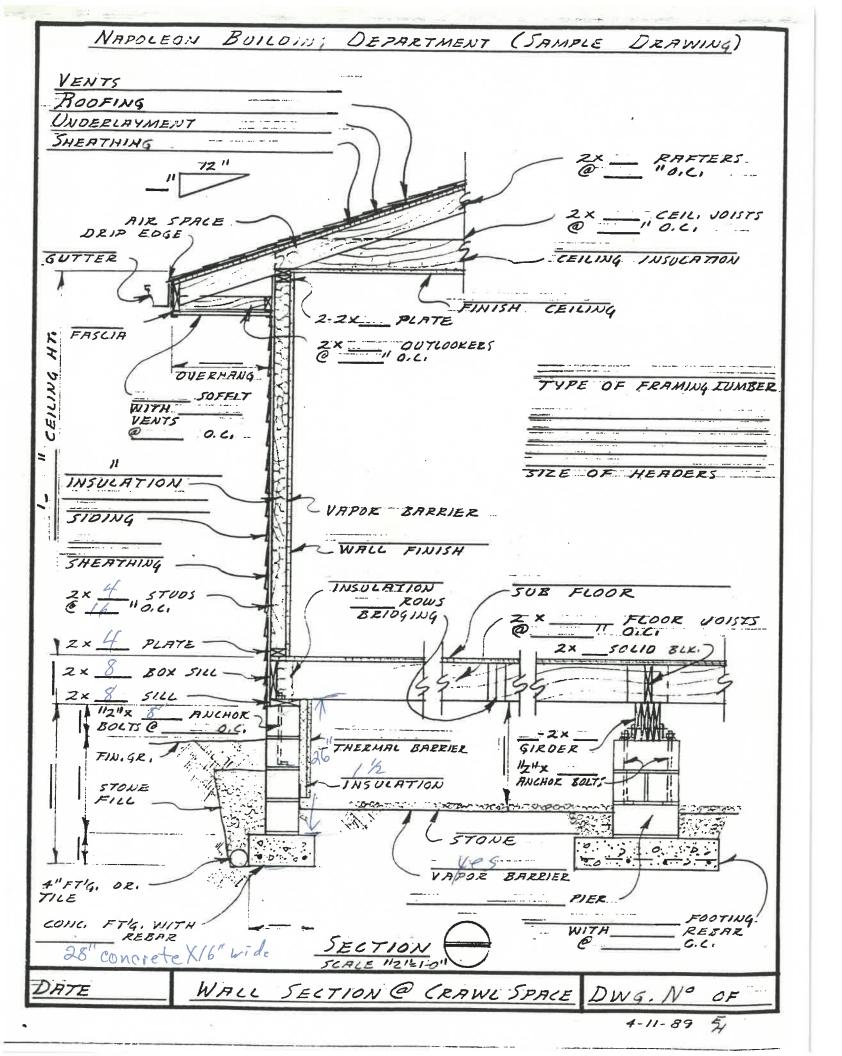
Zoning Code	\$10.00
Zoning Map	\$1.00
Subdivision Regulations	\$2.00
Drawing Copies Blueprints	,
Drawing Copies Xerox	\$1.00
C A B O Code Date	\$ .25
C.A.B.O. Code Book	\$18.40

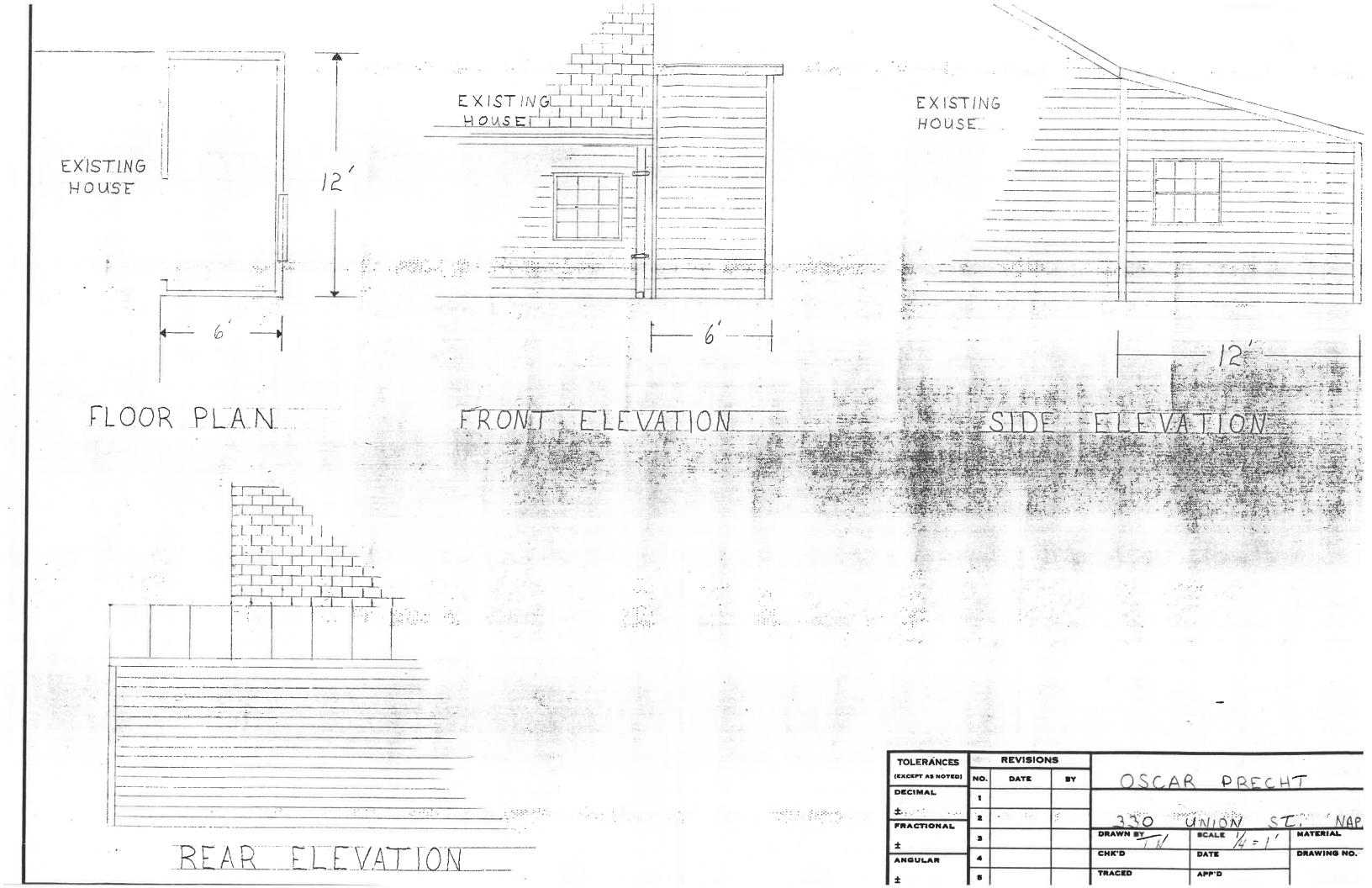
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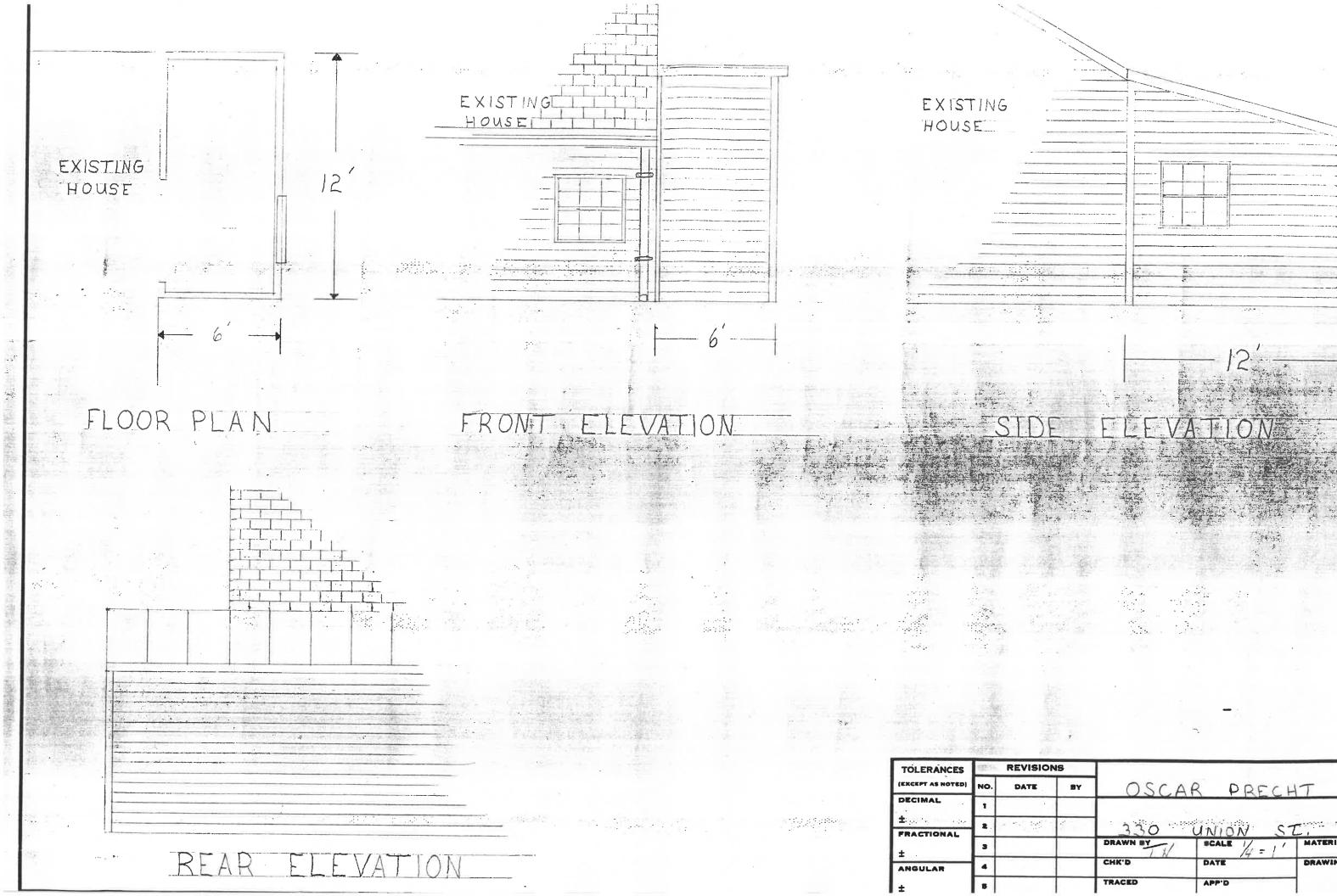
- (b) Hot Water heating systems. The inspection fee for installation or replacement of steam and hot water boilers, unit heaters, unit gas heaters, heating and cooling coils shall be as follows: For new installations, \$6 for each boiler or heating unit, plus \$.75 for each radiator unit heater or 300 square feet of radiation or fraction thereof. For alterations, consisting only in the addition of radiator or radiation units \$.75 per each unit, minimum fee of \$3. For replacement of the boiler or heating unit only \$3.
- (5) Residential minor repair work exemption. No permit or fee shall be required for any electrical, plumbing, heating, and air conditioning work if said work has a total valuation of \$100 or less.
- (6) Exemptions; miscellaneous rules.
  - (a) These fees do not cover the water supply, plumbing, drainage and sewage disposal. Plans and specifications for this class of work shall be submitted for approval before construction to the Plumbing Unit, Ohio Department of Health, Columbus, Ohio 43215.
  - (b) Heating and air conditioning for commercial and industrial structures shall be included under General Building and Mechanical Permit Fees.
  - (c) Fees for water tap, temporary electrical service and meter charge shall be as per the latest rate schedule as adopted by the City.
  - (d) All fees must be paid to the order of the City before a permit can be issued.
  - (e) Minimum fees must be paid before plans will be accepted for examination and the fee is nonreturnable.
  - (f) The reroofing of any home or business structure that does not include the replacement of roof sheeting or decking does not require a permit.



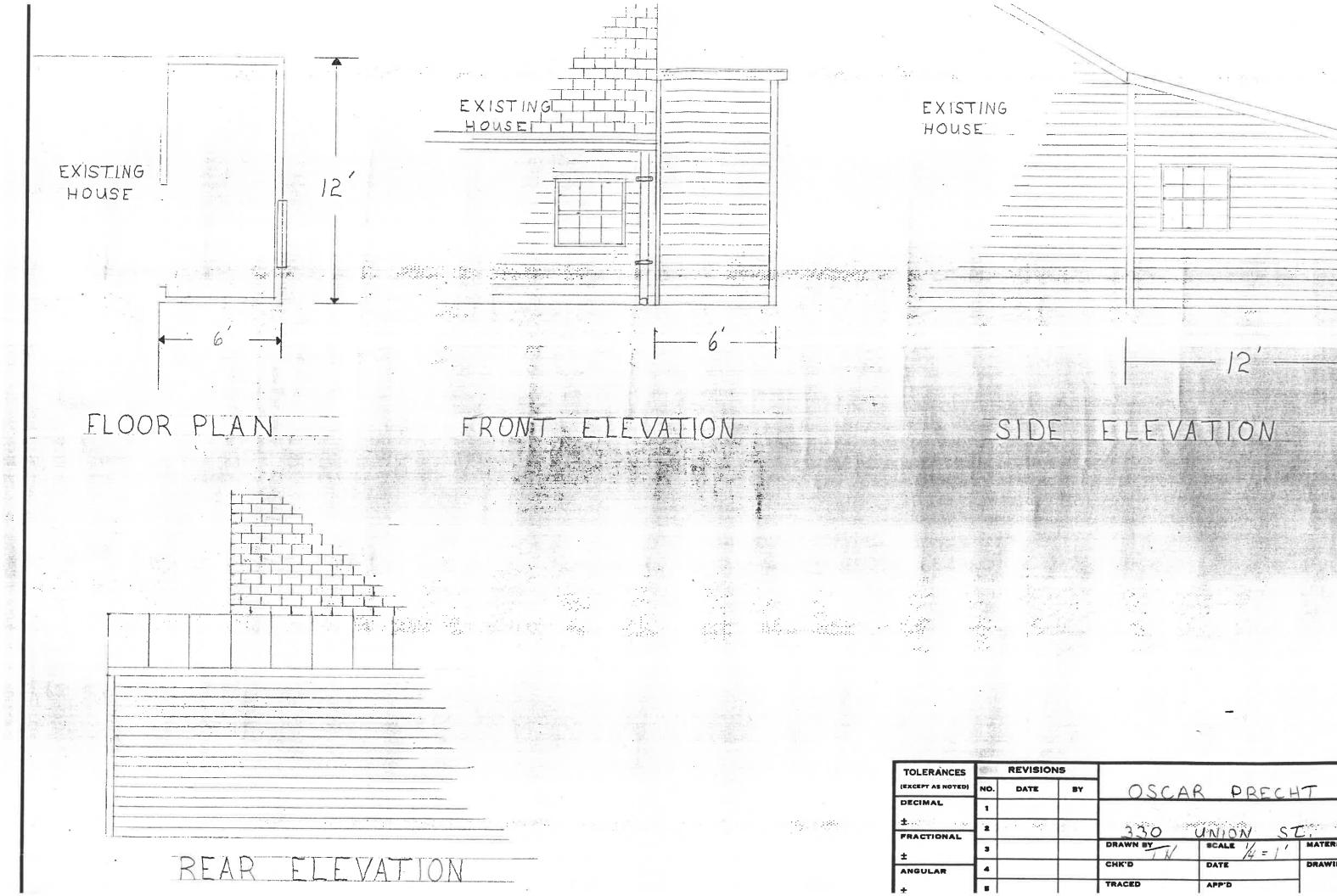
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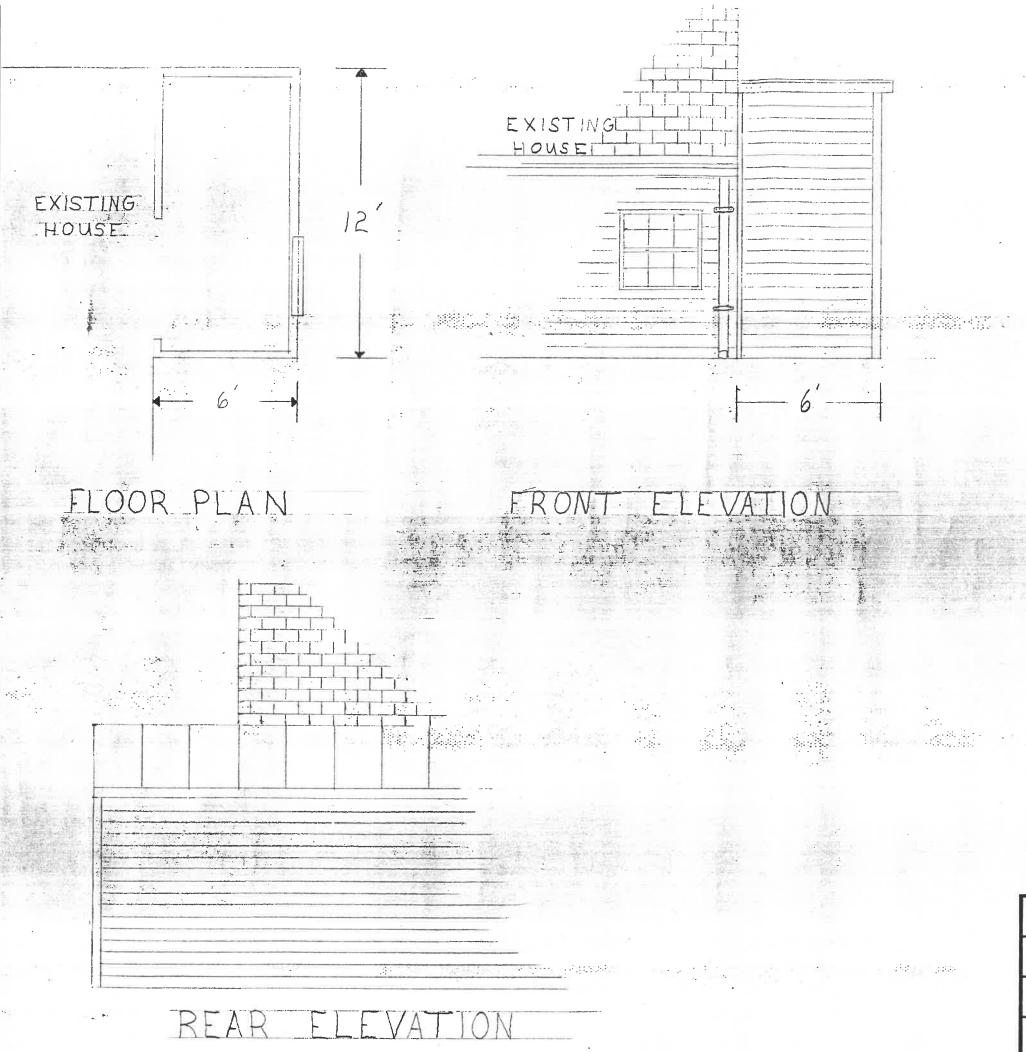


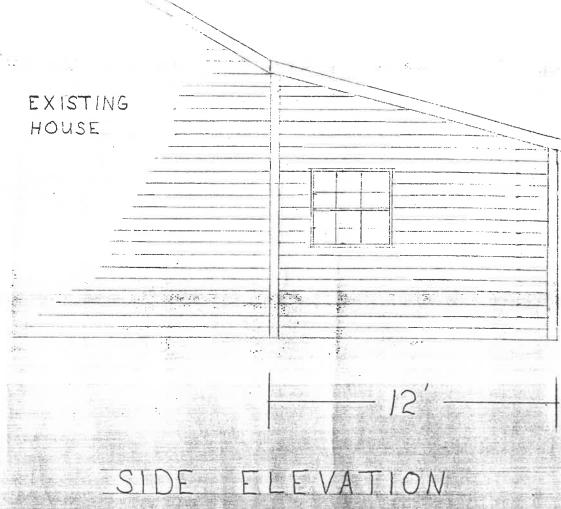




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TOLERANCES	REVISIONS					
(EXCEPT AS NOTED)	NO.	DATE	BY	OSCA	R PRECI	17
DECIMAL				0007		1204
<b>±</b> .500 - 0.50			lat .	1 25 2	UNION S	T. NAP.
FRACTIONAL	$\vdash$		-			MATERIAL
±	3			DRAWN BY	SCALE /4 = /	MATERIAL
ANGULAR	1			CHK.D	DATE	DRAWING NO.
±	5			TRACED	APP'D	

		18