

PERMIT
CITY OF NAPOLEON - BUILDING DEPARTMENT

255 West Riverview Avenue, Napoleon, Ohio 43545 - 419-592-4010

Permit No. 02014 Issued 6-27-90
date

Job Location 330 Union St., Napoleon, OH
address

Lot 5 McCann - Harrison
sub-div or legal discript

Issued By Brent N. Damman
building official

Owner Oscar Precht 592-6315
name tel.

Address 330 Union, Napoleon OH 43545

Agent S & N Builders, Inc. 782-6350
builder-eng.-etc. tel.

Address 1137 S. Clinton, Defiance, OH

Description of Use Residence

Residential 1
no. dwelling units

Commercial _____ Industrial _____

New _____ Add'n. _____ Alter _____ Remodel _____

Mixed Occupancy _____

Change of Occupancy _____

Estimated Cost \$ 1500.00

FEE	BASE	PLUS	TOTAL
<input checked="" type="checkbox"/> BUILDING	9.00	9.00	18.00
<input type="checkbox"/> ELECTRICAL			
<input type="checkbox"/> PLUMBING			
<input type="checkbox"/> MECHANICAL			
<input type="checkbox"/> DEMOLITION			
<input type="checkbox"/> ZONING			
<input type="checkbox"/> SIGN			
<input type="checkbox"/> WATER TAP			
<input type="checkbox"/> SEW. INSP.			
<input type="checkbox"/> SEWER TAP			
<input type="checkbox"/> TEMP. WATER			
<input type="checkbox"/> TEMP. ELECT.			
ADDITIONAL PLAN REVIEW	Struct. _____ hrs	Elect. _____ hrs	
TOTAL FEES.....			18.00
LESS MIN. FEES PAID _____ <small>date</small>			
BALANCE DUE.....			18.00

ZONING INFORMATION

district	lot dimensions	area	front yd	side yds	rear yd
C	116.5 x 66	7689	25	5	15
max hgt	no pkg spaces	no ldg spaces	max cover	petition or appeal req'd	date appr
35	2		45%		

WORK INFORMATION:

Size: Length _____ Width _____ Stories _____ Ground Floor Area _____

Height _____ Building Volume (for demo. permit) _____ cu. ft.

Electrical: _____
brief description

Plumbing: _____
brief description

Mechanical: _____
brief description

Sign: _____ Dimensions _____ Sign Area _____
type

Additional Information: add 12' x 6' room to be used as storage room.

Date June 27, 90 Applicant Signature *Lou A. Pagel* **PAID**
owner-agent JUN 27 1990

INSPECTION RECORD

	UNDERGROUND			ROUGH-IN						FINAL		
	Type	Date	By	Type	Date	By	Type	Date	By	Type	Date	By
PLUMBING	Building Drains			Drainage, Waste & Vent Piping			Indirect Waste			Drainage, Waste & Vent Piping		
	Water Piping									Backflow Prevention		
	Building Sewer			Water Piping			Condensate Lines			Water Heater		
	Sewer Connection									FINAL APPROVAL		
MECHANICAL	Refrigerant Piping			Refrigerant Piping			Chimney(s)			Grease Exhaust System		
				Duct Furnace(s)			Fire Dampers			Air Cond. Unit(s)		
	Ducts/Plenums			Ducts/Plenums			<input type="checkbox"/> Radiant Htr(s) <input type="checkbox"/> Unit Htr(s)			Refrigeration Equipment		
				Duct Insulation			Pool Heater			Furnace(s)		
				Combustion Products Vents			Ventilation <input type="checkbox"/> Supply <input type="checkbox"/> Exhst.			FINAL APPROVAL		
ELECTRICAL	Conduits & or Cable			Conduits/ Cable			<input type="checkbox"/> Range <input type="checkbox"/> Dryer			Temp Service Temp Lighting		
	Grounding & or Bonding			Rough Wiring			<input type="checkbox"/> Generator(s) <input type="checkbox"/> Motors			Fixtures Lampholders		
	Floor Ducts Raceways			Service Panel Switchboard			<input type="checkbox"/> Water Htr <input type="checkbox"/> Welder			Signs		
	Service Conduit			Busways Ducts			<input type="checkbox"/> Heaters <input type="checkbox"/> Heat Cable			Electric Mtr. Clearance		
	Temporary Power Pole			Subpanels			<input type="checkbox"/> Duct Htr(s) <input type="checkbox"/> Furnace(s)			FINAL APPROVAL		
BUILDING	Location, Set-backs, Esmt(s)			Exterior Wall Construction			Roof Covering Roof Drainage			Smoke Detector		
	Excavation						Exterior Lath			Demolition (sewer cap)		
	Footings & Reinforcing						<input type="checkbox"/> Interior Lath <input type="checkbox"/> Wallboard					
	Floor Slab			Interior Wall Construction			Fire Wall(s)			Building or Structure		
	Foundation Walls			Columns & Supports			Fireplace Chimney					
	Sub-soil Drain			Crawl Space <input type="checkbox"/> Vent <input type="checkbox"/> Access			Attic <input type="checkbox"/> Vent <input type="checkbox"/> Access					
	Piles			Floor System(s)						FINAL APPROVAL BLDG. DEPT.		8/13 BD
			Roof System			Special Insp Reports Rec'd			Certificate of Occupancy Issued			
ADDITIONAL	INSPECTIONS, CORRECTIONS, ETC.						INSPECTIONS, CORRECTIONS, ETC.					
	PAID											
	JUN 5 1990											
CITY OF MADISON												

PERMIT

CITY OF NAPOLEON - BUILDING DEPARTMENT

255 West Riverview Avenue, Napoleon, Ohio 43545 - 419-592-4010

Permit No. 02014 Issued 6-27-90
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Job Location 330 Union St., Napoleon, OH
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Lot 5 McCann - Harrison
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Issued By Brant N. Dorman
building official

Owner Oscar Procht 592-6315
name tel.

Address 330 Union, Napoleon OH 43545

Agent S & N Builders, Inc. 782-6350
builder-eng.-etc. tel.

Address 1137 S. Clinton, Defiance, OH

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Residential 1
no. dwelling units

Commercial _____ Industrial _____

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Change of Occupancy _____

Estimated Cost \$ 1500.00

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<input type="checkbox"/> MECHANICAL			
<input type="checkbox"/> DEMOLITION			
<input type="checkbox"/> ZONING			
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Height _____ Building Volume (for demo. permit) _____ cu. ft.

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brief description

Plumbing: _____
brief description

Mechanical: _____
brief description

Sign: _____ Dimensions _____ Sign Area _____
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Additional Information: add 12' x 6' room to be used as storage room.

Date JUNE 27, 90 Applicant Signature [Signature]
owner-agent

INSPECTION RECORD

	UNDERGROUND			ROUGH-IN			FINAL					
	Type	Date	By	Type	Date	By	Type	Date	By			
PLUMBING	Building Drains			Drainage, Waste & Vent Piping			Indirect Waste			Drainage, Waste & Vent Piping		
	Water Piping									Backflow Prevention		
	Building Sewer			Water Piping			Condensate Lines			Water Heater		
	Sewer Connection									FINAL APPROVAL		
MECHANICAL	Refrigerant Piping			Refrigerant Piping			Chimney(s)			Grease Exhaust System		
				Duct Furnace(s)			Fire Dampers			Air Cond. Unit(s)		
	Ducts/Plenums			Ducts/Plenums			<input type="checkbox"/> Radiant Htr(s) <input type="checkbox"/> Unit Htr(s)			Refrigeration Equipment		
				Duct Insulation			Pool Heater			Furnace(s)		
			Combustion Products Vents			Ventilation <input type="checkbox"/> Supply <input type="checkbox"/> Exhst.				FINAL APPROVAL		
ELECTRICAL	Conduits & or Cable			Conduits/ Cable			<input type="checkbox"/> Range <input type="checkbox"/> Dryer			Temp Service Temp Lighting		
	Grounding & or Bonding			Rough Wiring			<input type="checkbox"/> Generator(s) <input type="checkbox"/> Motors			Fixtures Lampholders		
	Floor Ducts Raceways			Service Panel Switchboard			<input type="checkbox"/> Water Htr <input type="checkbox"/> Welder			Signs		
	Service Conduit			Busways Ducts			<input type="checkbox"/> Heaters <input type="checkbox"/> Heat Cable			Electric Mtr. Clearance		
	Temporary Power Pole			Subpanels			<input type="checkbox"/> Duct Htr(s) <input type="checkbox"/> Furnace(s)			FINAL APPROVAL		
BUILDING	Location, Set-backs, Esmt(s)			Exterior Wall Construction			Roof Covering Roof Drainage			Smoke Detector		
	Excavation						Exterior Lath			Demolition (sewer cap)		
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	Foundation Walls			Columns & Supports			Fireplace Chimney					
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	Piles			Floor System(s)						FINAL APPROVAL BLDG. DEPT.		
			Roof System			Special Insp Reports Rec'd				Certificate of Occupancy Issued		
ADDITIONAL	INSPECTIONS, CORRECTIONS, ETC.						INSPECTIONS, CORRECTIONS, ETC.					

TODY NAGEL
 Home 599-8868
 WSRK 782-6350

APPLICATION
 for
 RESIDENTIAL BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, PERMITS and DEMOLITION PERMIT
 from the
 CITY OF NAPOLEON - BUILDING DEPARTMENT
 255 West Riverview Ave. Napoleon, Ohio 43545 Pn. 419-592-4010

Entry No. _____

Permit No. 02014 Issued _____

Job Location 330 UNION ST. NAPOLCON OHIO

Lot # 5 MCCANN - HARRISON
 sub-div. or legal disc.

Issued By Brent N. Dammen
 building official

Owner OSCAR PRECHT Pn. 592-6315

Address 330 UNION NAPOLCON OHIO 43545

Agent S + N BUILDERS, INC. Pn. 782-6350

Address 1137 SOUTH CLINTON DEFIANCE OHIO

Description of Use ADD 12'x6' ROOM TO BE USED

AS STORAGE AREA

Residential 1
 no. dwelling units

Commercial _____ Industrial _____

New _____ Add'n. _____ Alter _____ Remodel _____

Mixed Occupancy _____

Change of Occupancy _____

Estimated Cost \$ 1,500.00

-ZONING INFORMATION

C district 116.5x66 lot dimensions 7689 area

35 max hgt 2 no pkg spaces 45% no ldg spaces max cover

petition or appeal req'd. _____ date appr _____

WORK INFORMATION:

BUILDING: Garage Fl. Area _____ Basement Fl. Area _____ Second Floor Area _____

Size: Length _____ Width _____ Stories _____ Ground Floor Area _____

Height _____ Building Volume (for demo. permit) _____ cu. ft.

Description of Work: ADD 12'x6' ROOM TO BE USED AS PAID ROOM

Ck. Permits Reg.	Base	Fees Plus	Total
<input checked="" type="checkbox"/> Building	9 ⁰⁰	9 ⁰⁰	18 ⁰⁰
Electrical			
Plumbing			
Mechanical			
Demolition			
Zoning			
Sign			
Water tap			
Sewer Tap			
Temp. Water			
Temp. Elec.			
Additional struc. plan review	_____ hrs		
Elect.	_____ hrs		
Total Fees			18 ⁰⁰
Less Min. Fees Pd.			
Balance Due			18 ⁰⁰
date			15

JUN 27 1990

CITY OF NAPOLEON

Continue on Back Side for Electrical, Plumbing and Mechanical and other Information;

ELECTRICAL: Electrical Contractor _____ Pn. _____
 Address _____ Estimated Cost \$ _____
 Type of work: New _____ Service change _____ Rewiring _____ Additional Wiring _____ Temp. Elec. Req. _____
 Size of service _____ Underground _____ Overhead _____ No. of new circuits _____
 Description of work: _____

PLUMBING: Plumbing Contractor _____ Pn. _____
 Address _____ Estimated Cost \$ _____
 Water Tap Req. _____ Size _____ Type of Pipe _____ Water Dist. Pipe _____ type
 yes no
 San. Sewer Tap Req. _____ Size _____ Type of Pipe _____ Dr. Waste Vt. Pipe _____ type
 yes no
 St. Sewer Tap Req. _____ Size _____ Type of Pipe _____ Street to be Opened _____
 yes no
 Main Building Drain Size _____ Main Vent Pipe Size _____ List Number of Plumbing Fixtures Below
 Water Closets _____ Bathtubs _____ Showers _____ Lavatories _____ Kitchen Sinks _____ Disposal _____ Dishwasher _____ Clothes Washer _____
 Floor Drains _____ Other Fixtures: Type _____ No. _____
 Description of Work: _____

MECHANICAL: Mechanical Contractor _____ Pn. _____
 Address _____ Estimated Cost _____
 Heating System: Forced Air _____ Gravity _____ Hot Water _____ Steam _____ Unit Heaters _____ Radiant _____ Baseboard _____
 Type of Fuel: Electric _____ Natural Gas _____ Propane _____ Wood _____ Coal _____ Solar _____ Geothermal _____ Other _____
 No. of Heat Zones _____ Hot Water: (One Pipe _____ Two Pipe _____ Series Loop _____) Electric Heat: (No of Circuits _____) No. of Furnaces _____
 No. of Hot Air Runs _____ No. of Hot Water Radiators _____ Total Heat Loss _____ Rated Capacity of Furnace/Boiler _____
 Location of Heating Units: Crawl Space _____ Floor Level _____ Attic _____ Suspended _____ Roof _____ Outside _____ Other _____
 Description of Work _____

DRAWINGS REQUIRED: All Applications must be Accompanied by Two Complete sets of Drawings Including SITE PLAN, FOUNDATION PLAN, FLOOR PLANS, STRUCTURAL FRAMING PLANS, EXTERIOR ELEVATIONS, SECTIONS and DETAILS, STAIR DETAILS, ELECTRICAL LAYOUT, PLUMBING ISOMETRIC, HEATING LAYOUT ETC. All plans shall be DRAWN TO SCALE. Show all existing structures on the site plan also, show Electric Panel and Furnace Locations.

READ AND SIGN BELOW; The undersigned hereby makes application for a permit for all work described herein, and agrees to complete the work in strict accordance with all applicable provisions of the current edition of the C.A.B.O. Building Code, the Napoleon Building and Zoning Codes, the Napoleon Engineering Dept. Rules and Regulations, Standard Specifications and other Pertinent Sections of the Napoleon Code of Ordinances.

Date 06-13-01 Signature of Applicant Larry A. Nagel (S + N Builders, Inc)
 Application not valid without signature



City of NAPOLEON, OHIO

255 RIVERVIEW AVENUE - (419) 592-4010
NAPOLEON, OHIO 43545-0151

Mayor
Steven Lankenau

Members of Council
James Hershberger, President
Terri A. Williams
John E. Church
Randy J. Bachman
Matthew G. Gloor
Robert G. Heft

City Manager
Terry Dunn

Finance Director
Rupert W. Schweinhagen

Law Director
Michael J. Wesche

Prosecuting Attorney
Thomas L. Bischoff

June 13, 1990

Mr. Toby Nagel
S & N Builder, Inc.
1137 South Clinton Street
Defiance, Ohio 43512

Re: Building Permit
Oscar Precht

Dear Toby:

Enclosed please find information related to finishing up this building permit.

Please bring in the following:

- 1) Section view of the wall and crawl space.
- 2) Detail of footer construction.
- 3) Check with Zoning Administrator to verify that setbacks are adequate.

If you have any questions, please call.

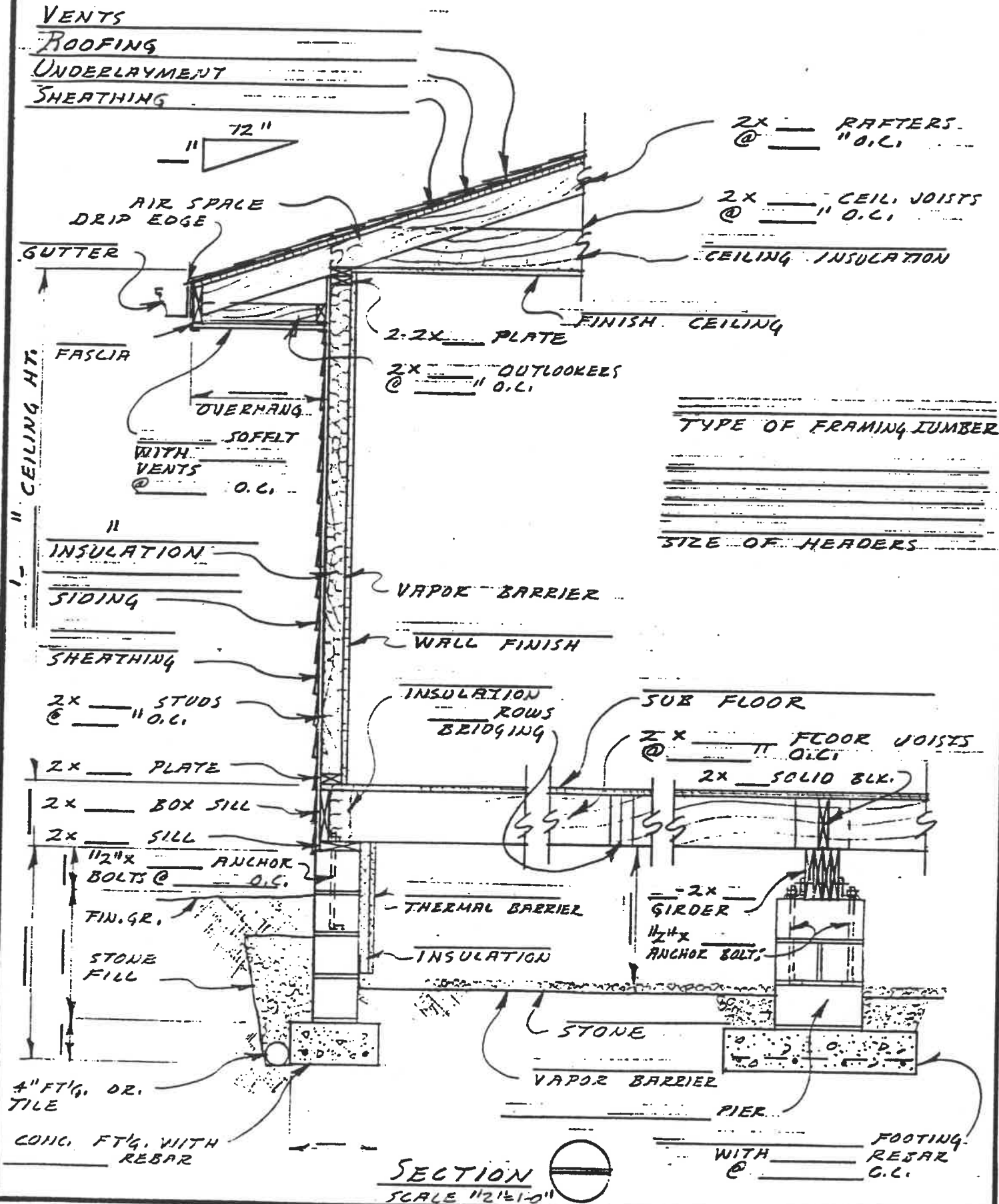
Respectfully,

Marc S. Gerken, P.E.
City Engineer

Enclosure

MSG:skw

NAPOLION BUILDING DEPARTMENT (SAMPLE DRAWING)



TYPE OF FRAMING LUMBER

SIZE OF HEADERS

SECTION
SCALE 1/2" = 1'-0"

DATE _____ WALL SECTION @ CRAWL SPACE DWG. NO OF _____

EFFECTIVE 1-1-88

Section 150.09 PERMIT FEES.

- (A) Fees for all building construction shall be based upon the cost of the operation as estimated by the building commissioner and shall be calculated as follows:
- (1) Residential.
 - (a) For total valuation of less than \$50 no permit or fee required.
 - (b) For valuation of \$50 to \$500 - \$9 plus an additional fee of \$9 for each additional \$1,000, or fraction thereof of total valuation to and including \$4,000, plus an additional fee of \$2 for each additional \$1,000 or fraction thereof, of total valuation to and including \$100,000, plus an additional fee of \$.80 for each additional \$1,000 or fraction thereof of total valuation exceeding \$100,000.
 - (c) For any building used as an appurtenance, such as a garage and not having over four hundred square feet of floor space, a fee of \$3 shall be charged, for each additional 100 square feet or fraction thereof, an additional fee of \$.50 shall be charged.
 - (2) Residential Electric Permit Fee.
 - (a) Base charge. A base charge of \$15 shall be included on each electrical permit for which a fee is charged. In addition to the base charge the following fees shall be required: Wiring charge for each circuit installed - \$3. Wiring for changes or additions to existing wiring not requiring additional circuits - no additional fee.
 - (b) Minor repair. A no-fee permit may be issued for the purpose of accomplishing minor repair or maintenance work. Work shall be considered minor repair work if it involves the installation or repair of 3 outlets or less on the existing circuit.

- (c) Reinspection fees. If through negligence or poor workmanship on the part of the contractor, it is necessary for the inspector to make more than two inspections of a particular phase of electrical installation, a fee shall be charged in addition to the fee schedule for each additional inspection. The administrator of the department of building and zoning shall make an estimate of the time required for reinspection procedures, and establish a fee adequate to reimburse the City for expenses incurred.
- (3) Residential Plumbing Permit Fees. For the permit, rough and final inspection fee for plumbing installation - \$9 plus \$3 for each trap. Reinspection fee - \$5.
- (4) Residential Heating Permit Fees.
 - (a) Warm air heating systems. Permit and inspection fee for new furnaces - \$18 up to and including 9 hot air heat runs. An additional fee of \$2 shall be added for each additional heat run. Permit and inspection fee for replacement or remodeling of warm air heating systems - \$5.

Residential Building Permit Fees For All Buildings,
Structures, Room Additions, And Accessory Structures
Over 400 SQ FT In Size

Valuation			
0	-	49	= 0.00
50	-	500	= 9.00
501	-	1,500	= 18.00
1,501	-	2,500	= 27.00
2,501	-	3,500	= 36.00
3,501	-	4,000	= 45.00
4,001	-	5,000	= 47.00
5,001	-	6,000	= 49.00
6,001	-	7,000	= 51.00
7,001	-	8,000	= 53.00
8,001	-	9,000	= 55.00
9,001	-	10,000	= 57.00
10,001	-	11,000	= 59.00
11,001	-	12,000	= 61.00
12,001	-	13,000	= 63.00
13,001	-	14,000	= 65.00
14,001	-	15,000	= 67.00
15,001	-	16,000	= 69.00
16,001	-	17,000	= 71.00
17,001	-	18,000	= 73.00
18,001	-	19,000	= 75.00
19,001	-	20,000	= 77.00
20,001	-	21,000	= 79.00
21,001	-	22,000	= 81.00
22,001	-	23,000	= 83.00
23,001	-	24,000	= 85.00
24,001	-	25,000	= 87.00
25,001	-	26,000	= 89.00
26,001	-	27,000	= 91.00
27,001	-	28,000	= 93.00
28,001	-	29,000	= 95.00
29,001	-	30,000	= 97.00
30,001	-	31,000	= 99.00
31,001	-	32,000	= 101.00
32,001	-	33,000	= 103.00
33,001	-	34,000	= 105.00
34,001	-	35,000	= 107.00
35,001	-	36,000	= 109.00
36,001	-	37,000	= 111.00
37,001	-	38,000	= 113.00
38,001	-	39,000	= 115.00
39,001	-	40,000	= 117.00
40,001	-	41,000	= 119.00
41,001	-	42,000	= 121.00
42,001	-	43,000	= 123.00
43,001	-	44,000	= 125.00
44,001	-	45,000	= 127.00
45,001	-	46,000	= 129.00
46,001	-	47,000	= 131.00
47,001	-	48,000	= 133.00
48,001	-	49,000	= 135.00
49,001	-	50,000	= 137.00
50,001	-	51,000	= 139.00
51,001	-	52,000	= 141.00
52,001	-	53,000	= 143.00
53,001	-	54,000	= 145.00
54,001	-	55,000	= 147.00
55,001	-	56,000	= 149.00
56,001	-	57,000	= 151.00
57,001	-	58,000	= 153.00
58,001	-	59,000	= 155.00
59,001	-	60,000	= 157.00
60,001	-	61,000	= 159.00
61,001	-	62,000	= 161.00
62,001	-	63,000	= 163.00
63,001	-	64,000	= 165.00
64,001	-	65,000	= 167.00
65,001	-	66,000	= 169.00
66,001	-	67,000	= 171.00
67,001	-	68,000	= 173.00
68,001	-	69,000	= 175.00
69,001	-	70,000	= 177.00
70,001	-	71,000	= 179.00
71,001	-	72,000	= 181.00
72,001	-	73,000	= 183.00
73,001	-	74,000	= 185.00
74,001	-	75,000	= 187.00
75,001	-	76,000	= 189.00
76,001	-	77,000	= 191.00
77,001	-	78,000	= 193.00
78,001	-	79,000	= 195.00
79,001	-	80,000	= 197.00
80,001	-	81,000	= 199.00
81,001	-	82,000	= 201.00
82,001	-	83,000	= 203.00
83,001	-	84,000	= 205.00
84,001	-	85,000	= 207.00
85,001	-	86,000	= 209.00
86,001	-	87,000	= 211.00
87,001	-	88,000	= 213.00
88,001	-	89,000	= 215.00
89,001	-	90,000	= 217.00
90,001	-	91,000	= 219.00
91,001	-	92,000	= 221.00
92,001	-	93,000	= 223.00
93,001	-	94,000	= 225.00
94,001	-	95,000	= 227.00
95,001	-	96,000	= 229.00

96,001 - 97,000 = 231.00

97,001 - 98,000 = 233.00

98,001 - 99,000 = 235.00

99,001 - 100,000 = 237.00

100,001 And Above Add \$.80 Per \$1,000 Or Fraction
Thereof.

Water Tapping Fees Within The City Limits.

1 inch diameter size	\$375.00
1 1/2 inch diameter size	\$560.00
2 inch diameter size	\$1,000.00

Larger than 2 inch shall be determined by the cost of the installation plus 25%

Water Tapping Fees Outside the City Limits.

1 in diameter size	\$700.00
1 1/2 inch diameter size	\$925.00
2 inch diameter size	\$1,650.00

Larger than 2 inch shall be determined by the cost of the installation plus 75%

Sewer Inspection Fees Shall Be As Follows.

Single-Family and Two-Family Dwellings \$60.00
Multi-Family Dwellings, Commercial & Industrial
Within The City Limits.

First 50 Linear Feet \$100.00

Each Additional 100 Linear Feet \$10.00

All Commercial And Industrial Outside The City and Residential as per 52.13 (C) \$600.00

Bond For All Street Openings \$250.00

Large Street Openings, Bond To Be Set By The Engineer

Sewer Tap Charges.

For subdivisions with single-family dwellings, the charge shall be based upon a minimum of \$87 per 7,200 square feet of land exclusive of streets or a charge of \$87 per dwelling unit location, whichever is greater. Dwelling unit location is defined as a lot established by the subdivider by metes and bounds survey or any other means which describes an area of ground to be used for one single dwelling unit.

For subdivisions with multi-family units of any nature, or mobile home courts, the charge will be \$87 per individual dwelling unit, or \$87 per 7,200 square feet of land exclusive of dedicated streets, whichever is greater.

The charge shall be assessed for any new construction, remodeling, or reconstruction at the time of the issuance of the building permit, or if there is no building permit required, prior to the commencement of construction; it shall also be assessed for any buildings or structures existing on land which is annexed, at the time of annexation.

This tap charge shall be paid or secured to be paid before any building permit may be issued by the proper authority of the City, or before any construction is commenced if no permit is required. The charge shall be paid only for the area upon which construction is commenced or for the area for which the building permit is granted.

The builder and subdivider shall make an application to the Engineering Department of the City, for determination of the tap charge prior to issuance of a building permit or commencing construction. This application shall be on such forms as are prescribed by the Engineering Department of the City, and shall designate the area for which the tap charge determination is required. After the determination of the tap charge, the charge shall be paid or secured to be paid to the Finance Director, at which time a building permit may be issued or construction commenced only for the area for which the tap charge was paid or secured to be paid.

No building permit shall be issued or construction commenced unless the tap charge is computed and paid or secured to be paid.

Sign Permit Fees

Signs And Billboards

Per Unit \$5.00

Plus \$.08 Per SQ FT Including All Advertising Sides

Awning And Marquees

\$4.00

Per Unit

Plus \$1.00 Per Each \$500.00 Of Cost

Demolition And Moving Structures

Notice Sent To Adjoining Property Owners

Notification To All Utility Companies

Health Department Showing No Vermin

Certificate Of Insurance

\$100,000 Per Person, \$300,000 Per Incident,

\$100,000 Damage Liability

Complete Within 90 Days

Lot Filled And Graded

Foundation And Basement Floor Broken Up

Portable Fire Extinguisher May Be Required

Fence May Be Required Around Demolition Site

Sanitary And Storm Sewer Capped (Inspection

Required Before Backfill)

Fee: 12,000 CU FT Or Less \$10.00

For Each Additional 12,000 CU FT \$ 5.00

No Fee For Buildings 80 SQ FT Or Less

Permit Required

Inspection After Completion

Penalty \$25.00 For Each Day Of Violation

Books, Maps And Drawing Fees

Zoning Code \$10.00

Zoning Map \$1.00

Subdivision Regulations \$2.00

Drawing Copies Blueprints \$1.00

Drawing Copies Xerox \$.25

C.A.B.O. Code Book \$18.40

(b) Hot Water heating systems. The inspection fee for installation or replacement of steam and hot water boilers, unit heaters, unit gas heaters, heating and cooling coils shall be as follows: For new installations, \$6 for each boiler or heating unit, plus \$.75 for each radiator unit heater or 300 square feet of radiation or fraction thereof. For alterations, consisting only in the addition of radiator or radiation units - \$.75 per each unit, minimum fee of \$3. For replacement of the boiler or heating unit only \$3.

(5) Residential minor repair work exemption. No permit or fee shall be required for any electrical, plumbing, heating, and air conditioning work if said work has a total valuation of \$100 or less.

(6) Exemptions; miscellaneous rules.

(a) These fees do not cover the water supply, plumbing, drainage and sewage disposal. Plans and specifications for this class of work shall be submitted for approval before construction to the Plumbing Unit, Ohio Department of Health, Columbus, Ohio 43215.

(b) Heating and air conditioning for commercial and industrial structures shall be included under General Building and Mechanical Permit Fees.

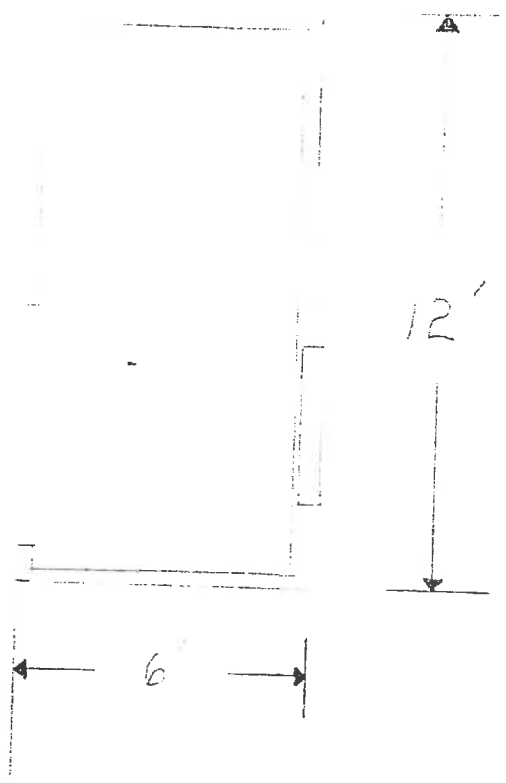
(c) Fees for water tap, temporary electrical service and meter charge shall be as per the latest rate schedule as adopted by the City.

(d) All fees must be paid to the order of the City before a permit can be issued.

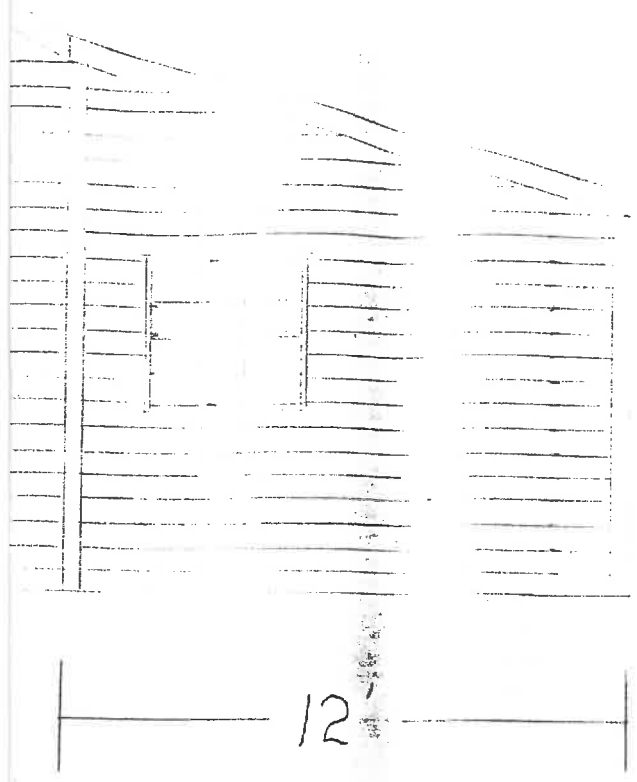
(e) Minimum fees must be paid before plans will be accepted for examination and the fee is nonreturnable.

(f) The reroofing of any home or business structure that does not include the replacement of roof sheeting or decking does not require a permit.

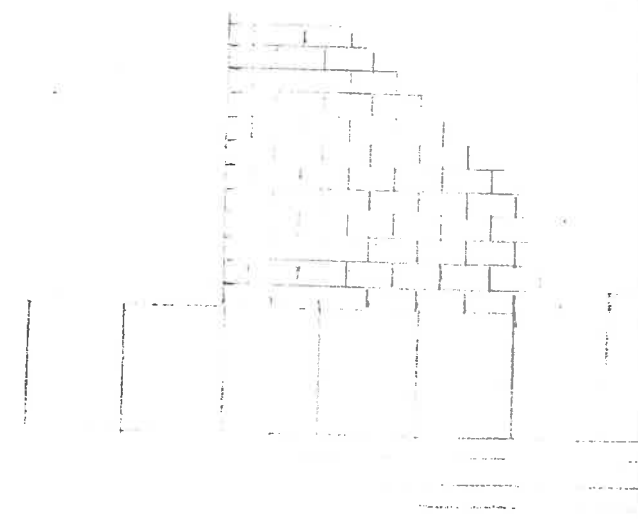
EXIST
HOUSE



FLOOR PLAN



ELEVATION



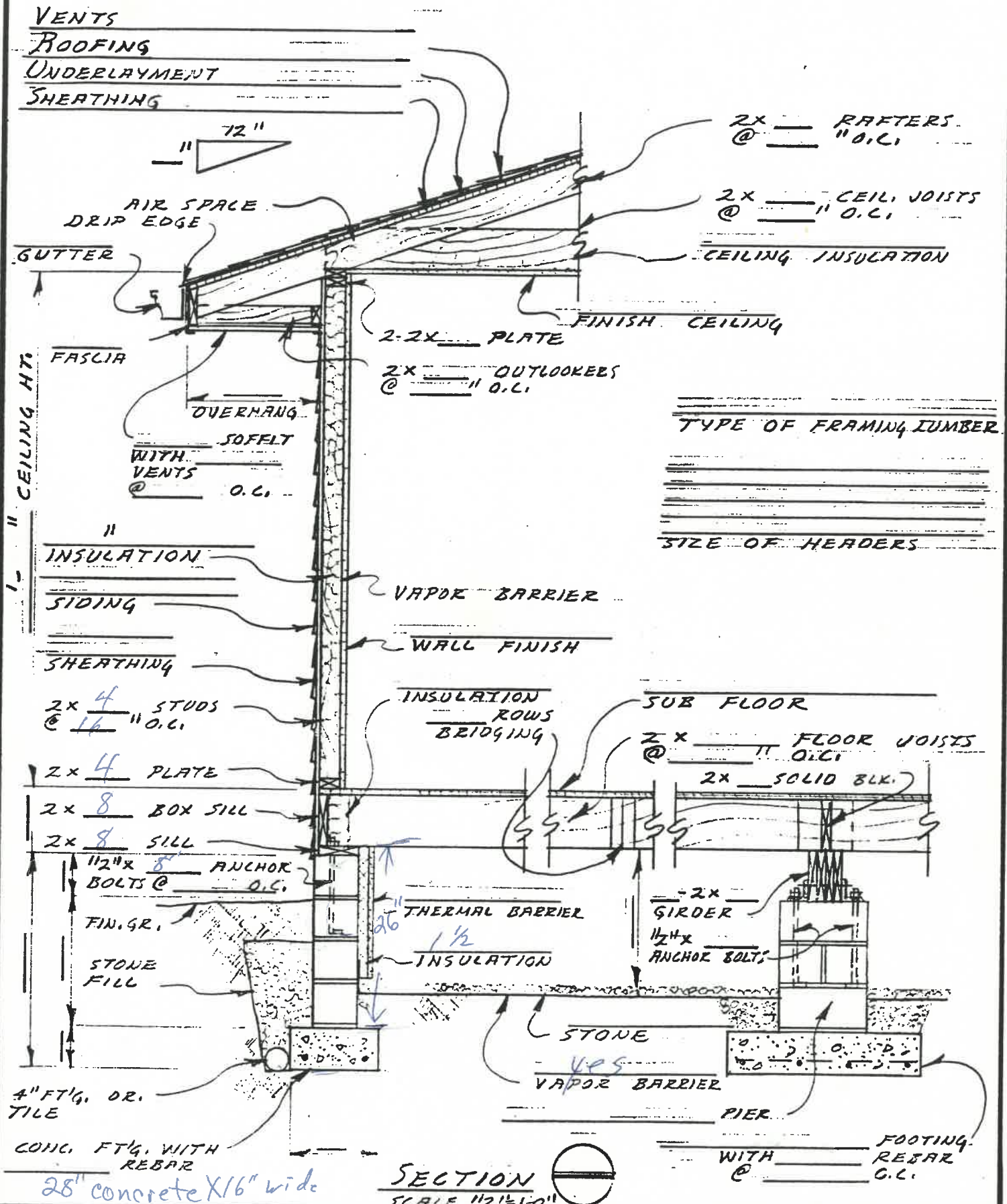
REAR ELEVATION

OSCAR PRECHT

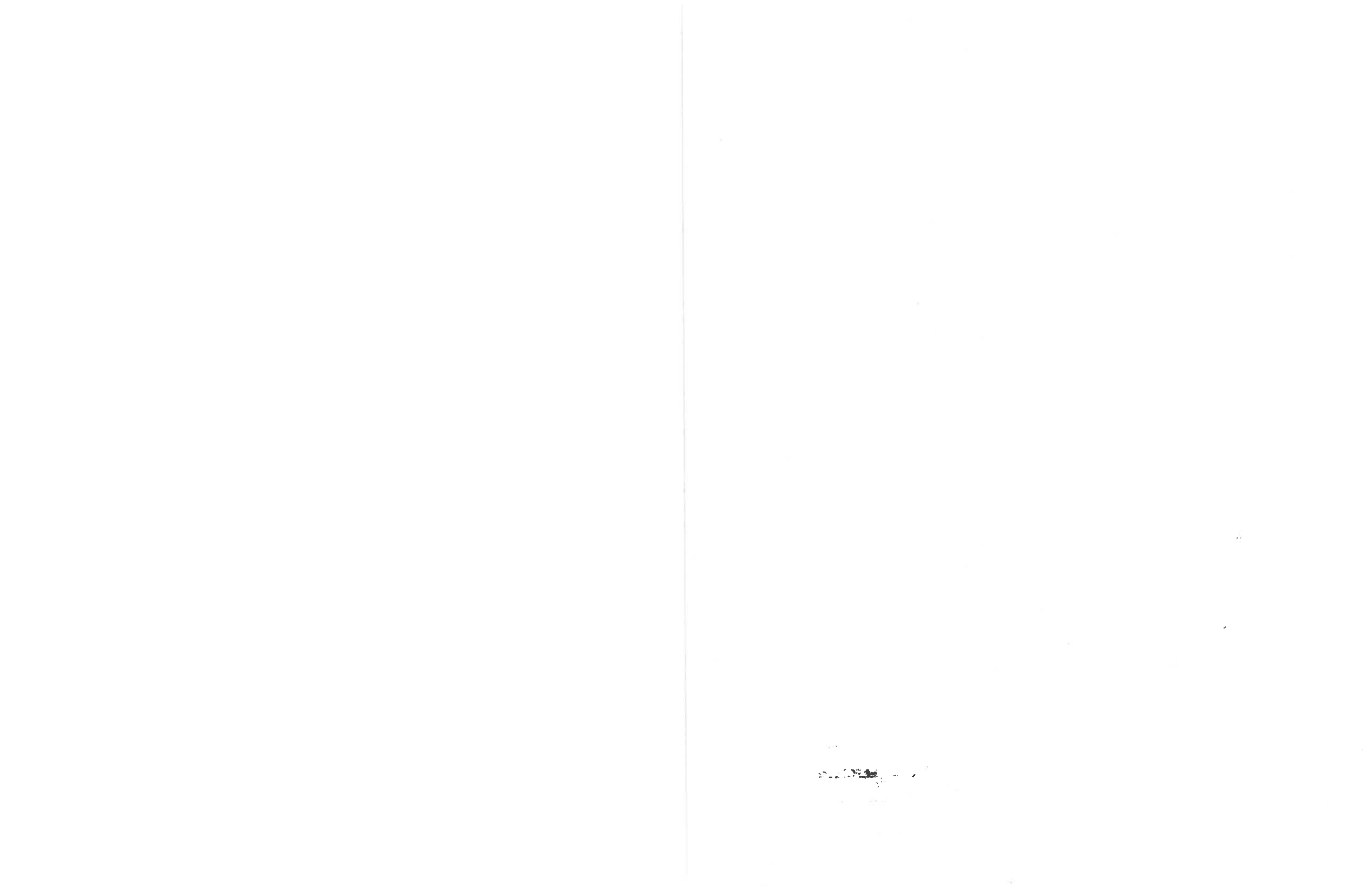
330 UNION E. NAP OH

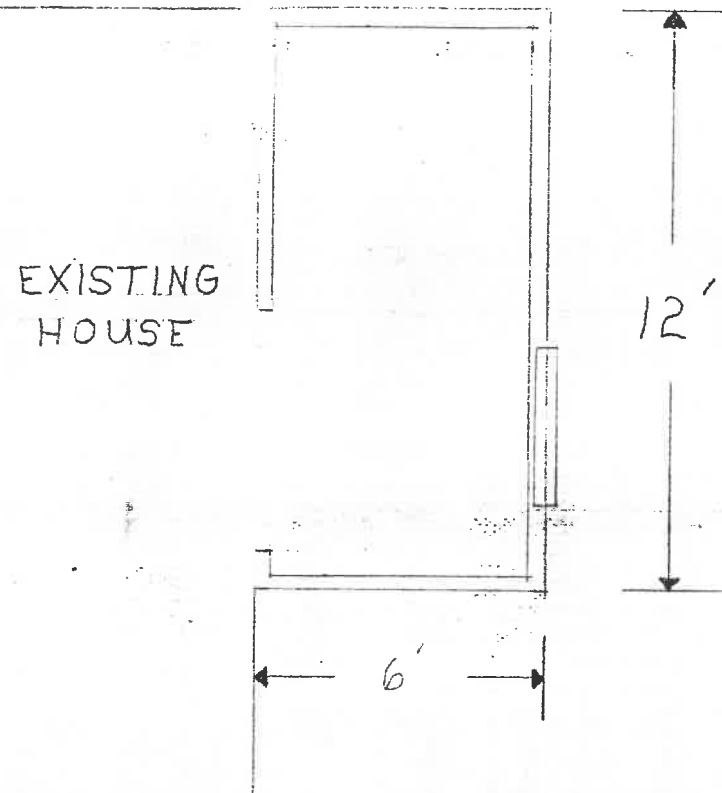
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CHK'D	DATE	DRAWING NO.
TRACED	APP'D	

NAPOLION BUILDING DEPARTMENT (SAMPLE DRAWING)

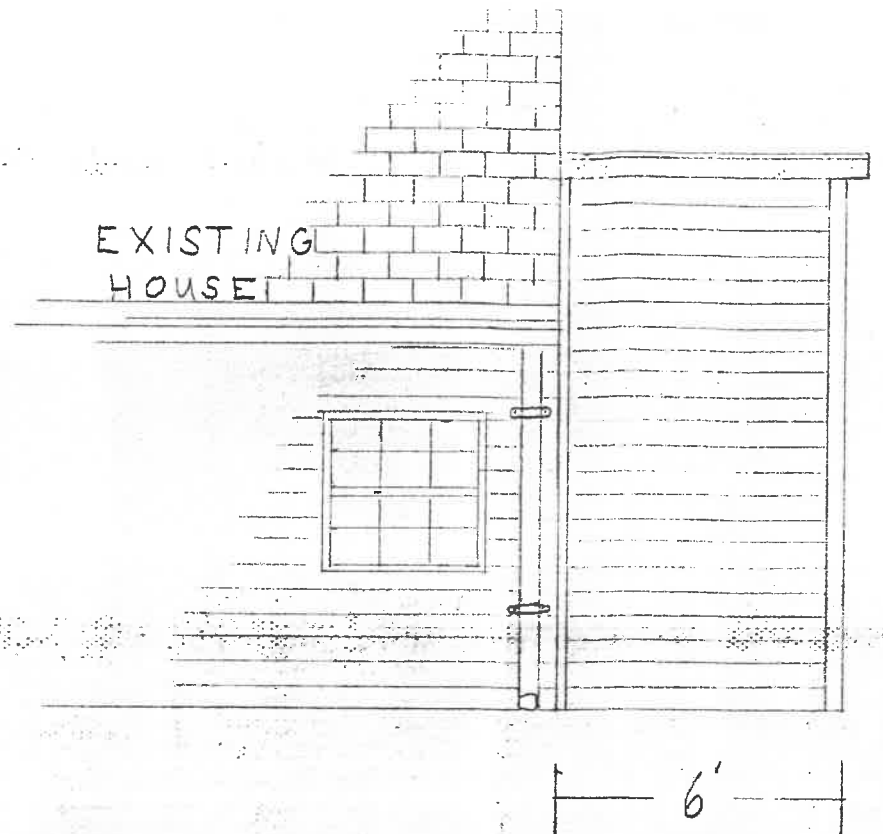


DATE WALL SECTION @ CRAWL SPACE DWG. NO OF

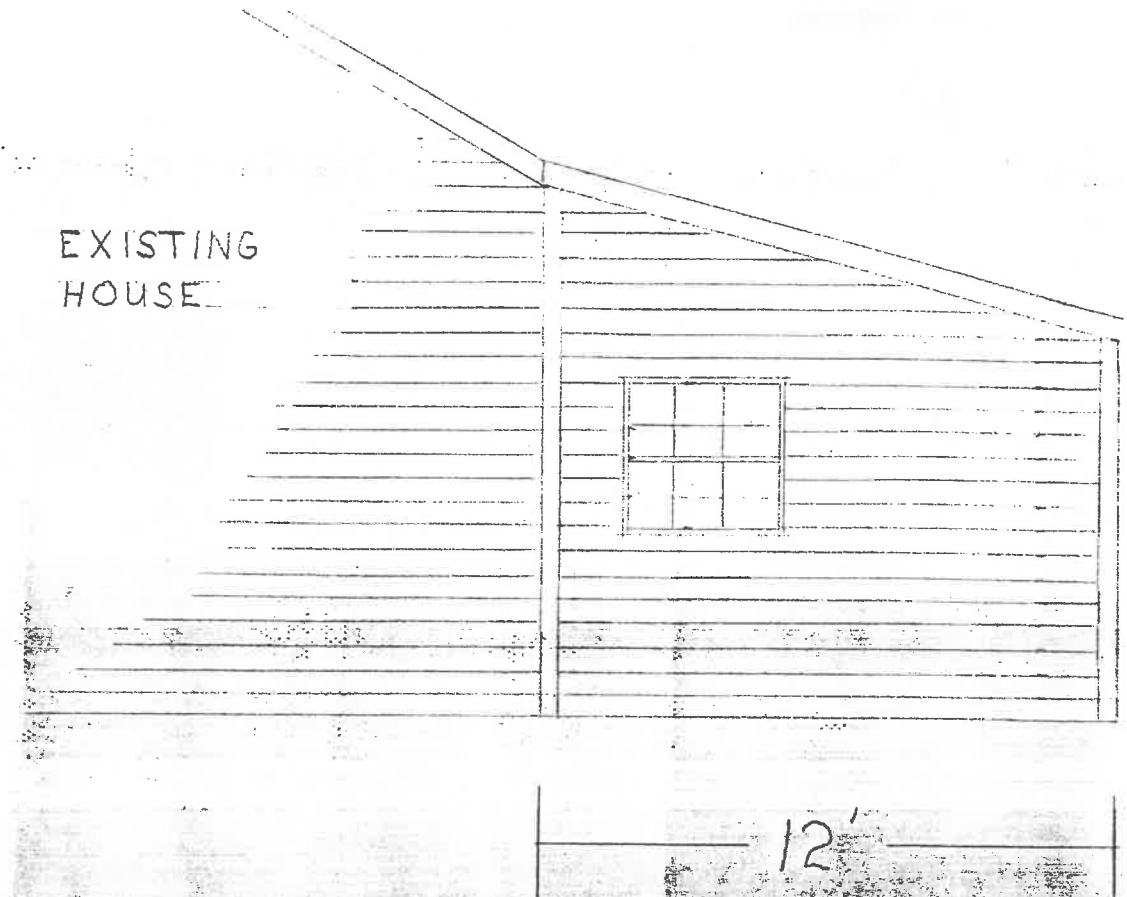




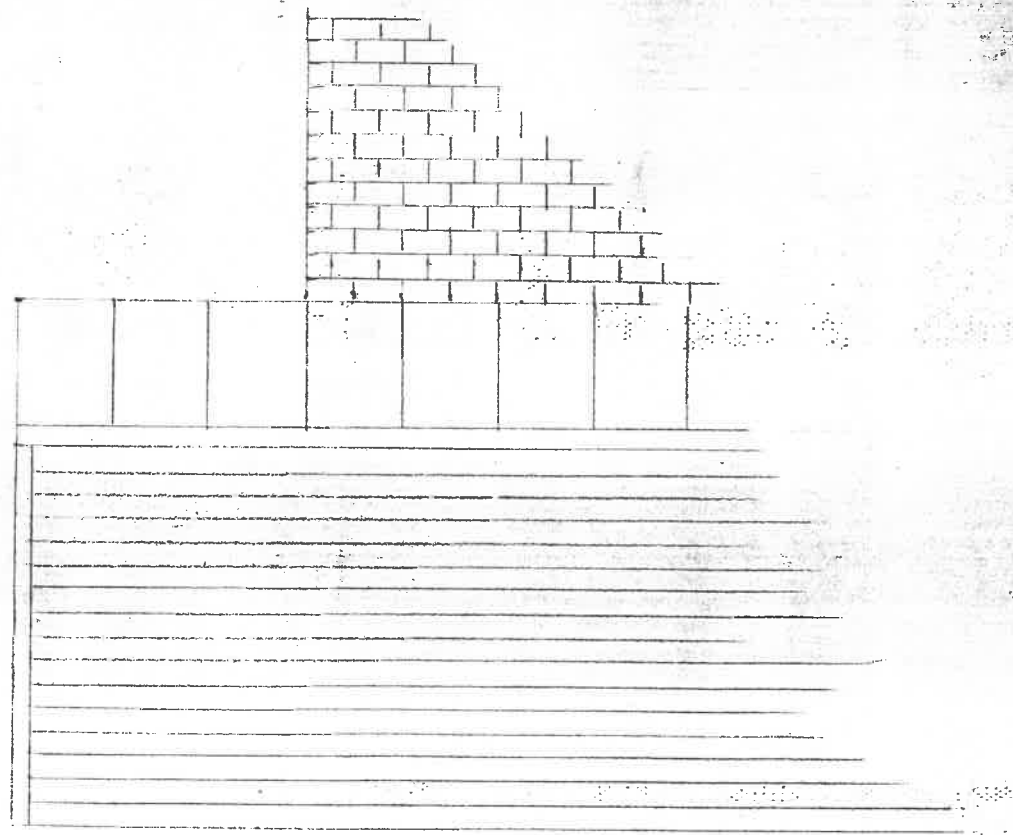
FLOOR PLAN



FRONT ELEVATION



SIDE ELEVATION

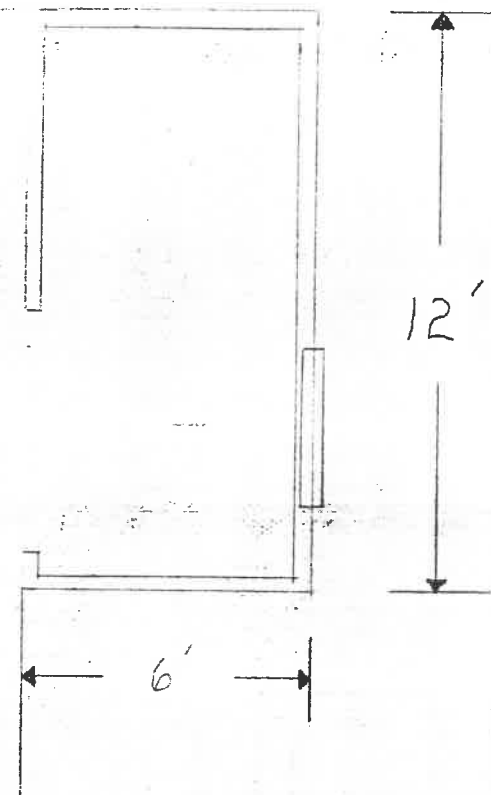


REAR ELEVATION

TOLERANCES (EXCEPT AS NOTED)	REVISIONS			OSCAR PRECHT		
	NO.	DATE	BY			
DECIMAL	1					
±	2					
FRACTIONAL	3					
±	4					
ANGULAR	5					
±						

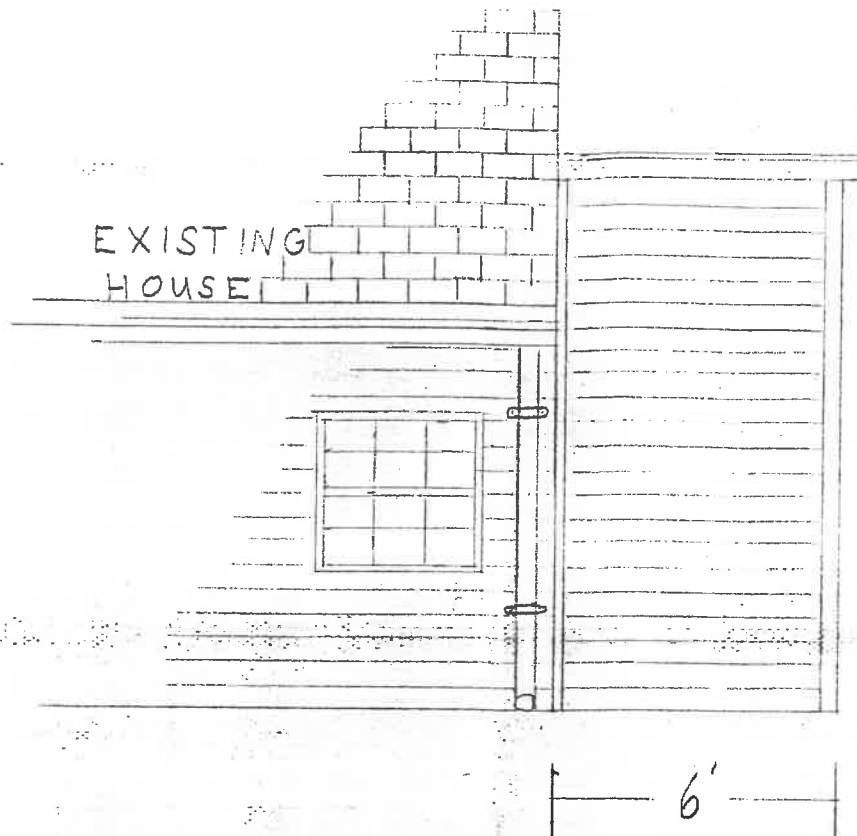
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TN		1/4" = 1'			
CHK'D		DATE		DRAWING NO.	
TRACED		APP'D			

EXISTING HOUSE



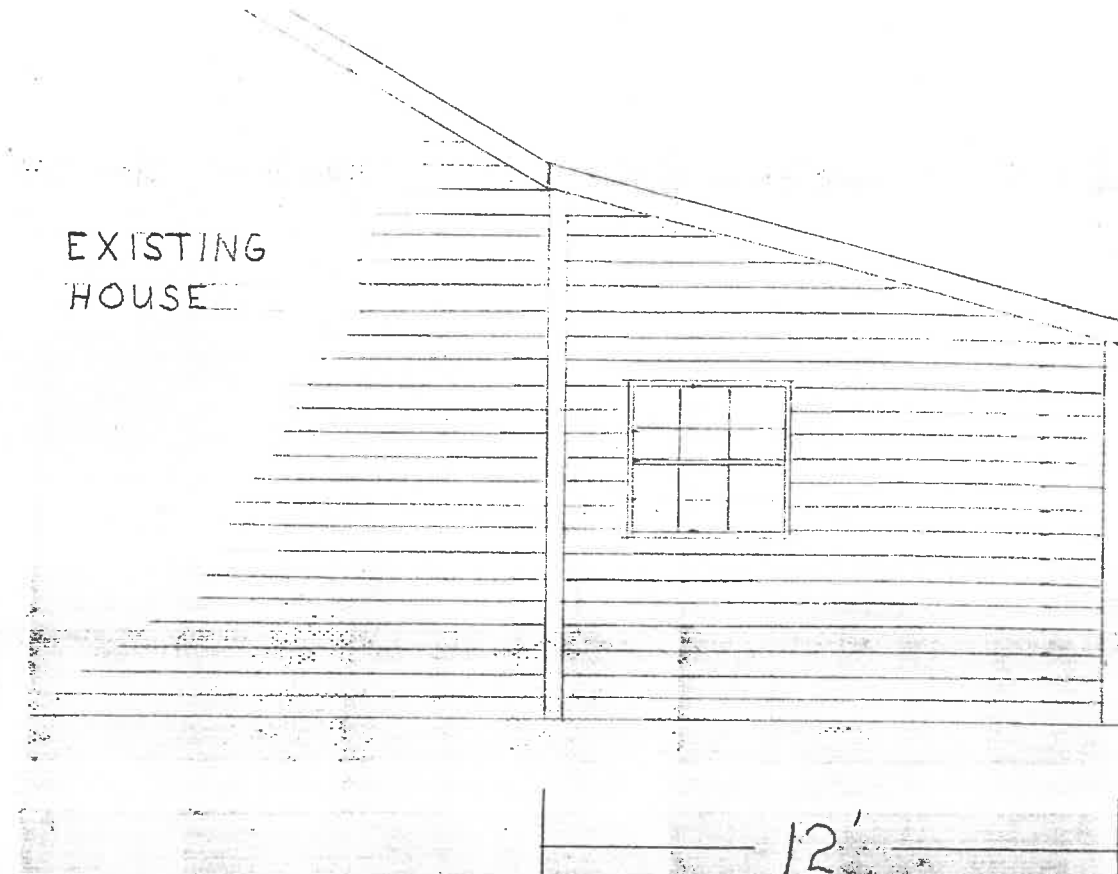
FLOOR PLAN

EXISTING HOUSE

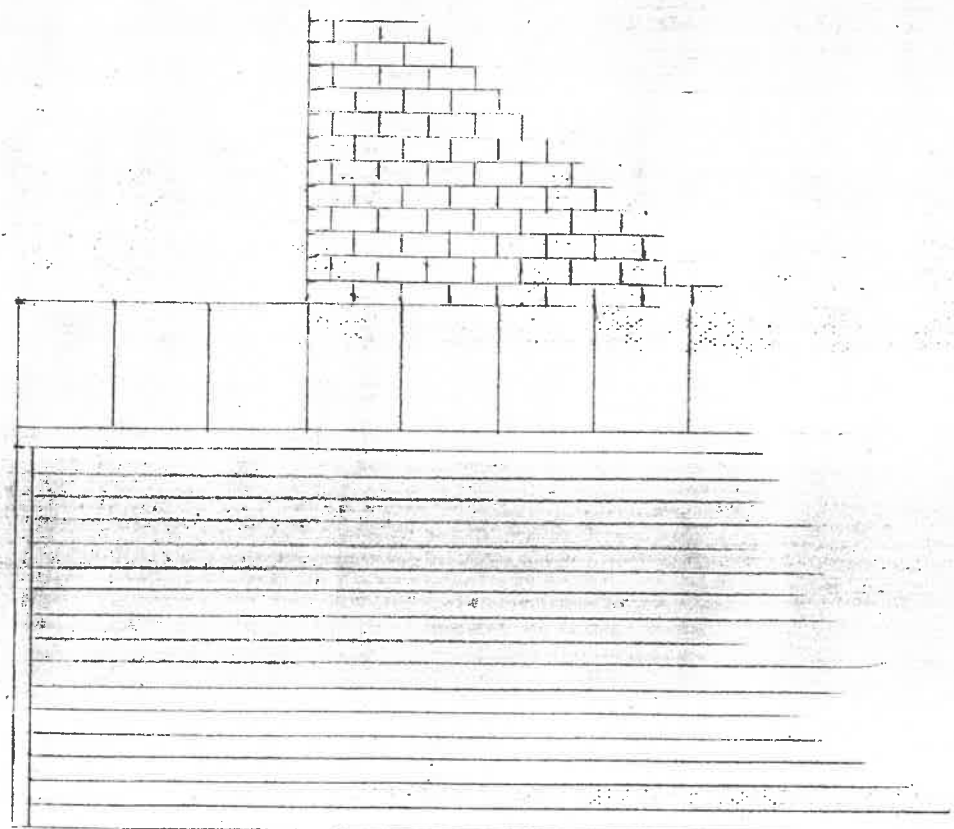


FRONT ELEVATION

EXISTING HOUSE



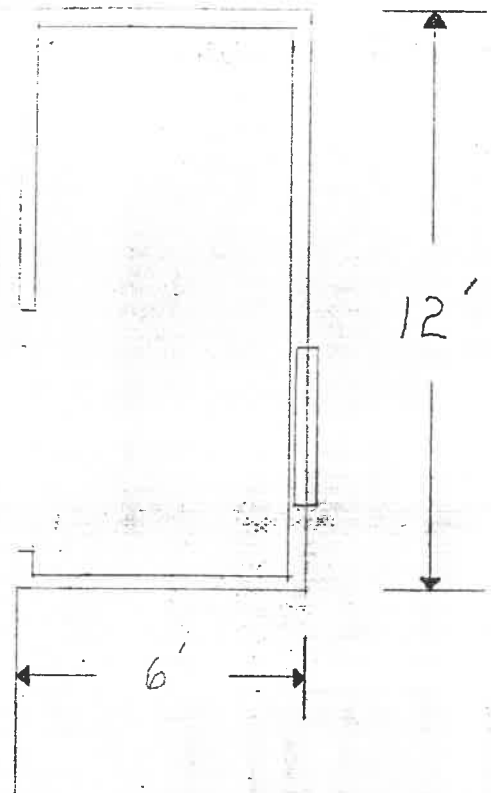
SIDE ELEVATION



REAR ELEVATION

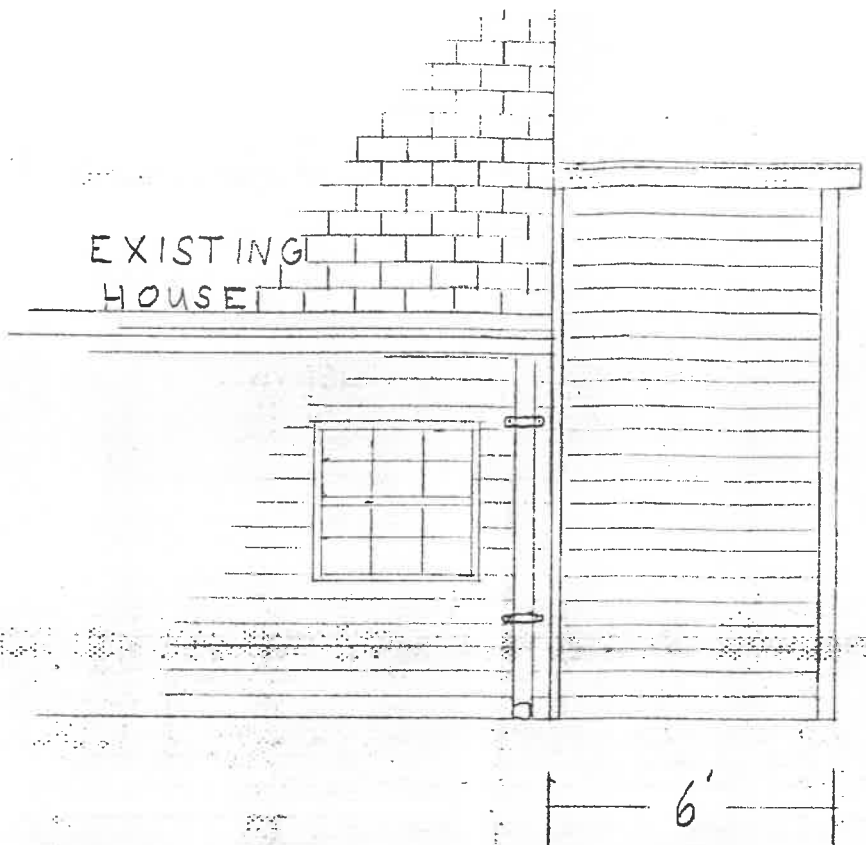
TOLERANCES (EXCEPT AS NOTED)	REVISIONS			OSCAR PRECHT		
	NO.	DATE	BY			
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±	2					
FRACTIONAL	3			DRAWN BY <i>TW</i>	DATE	DRAWING NO.
±	4			CHK'D	APP'D	
ANGULAR	5			TRACED		
±	6					

EXISTING HOUSE



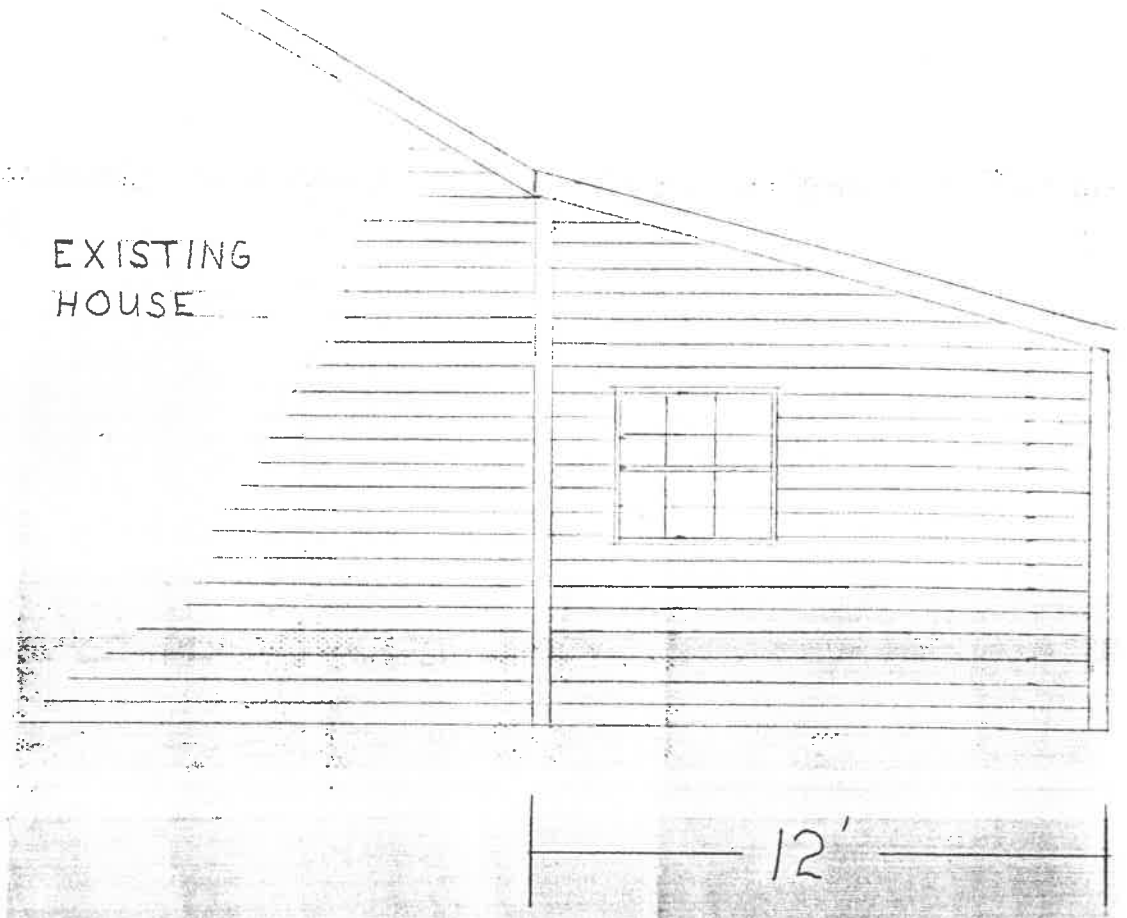
FLOOR PLAN

EXISTING HOUSE

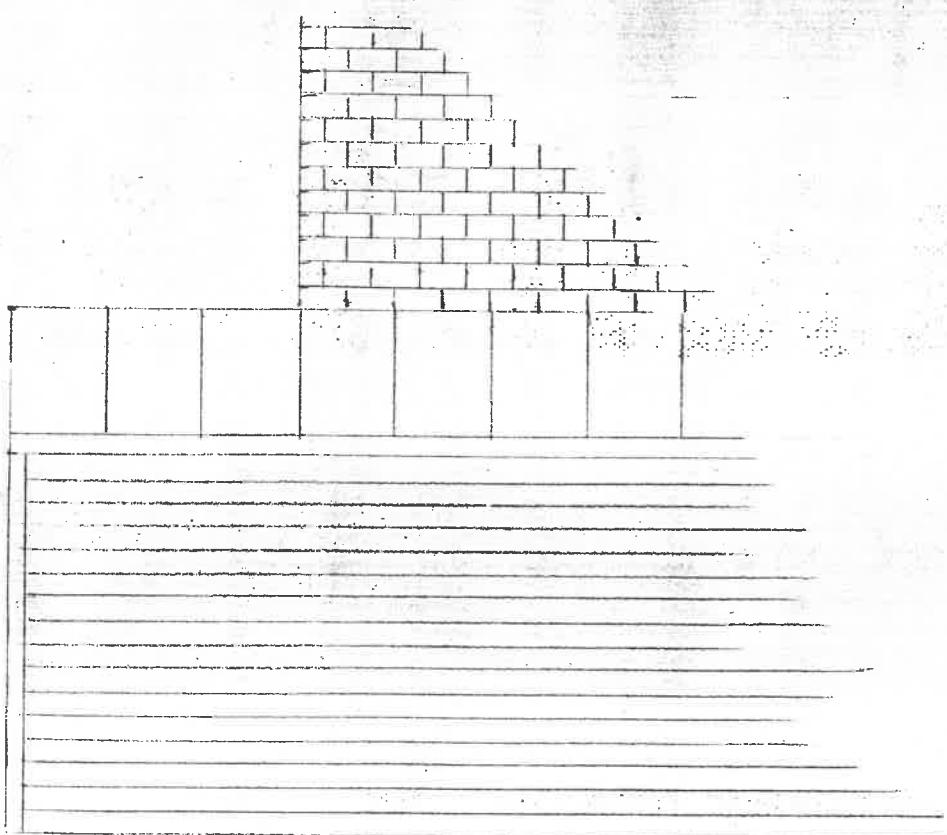


FRONT ELEVATION

EXISTING HOUSE



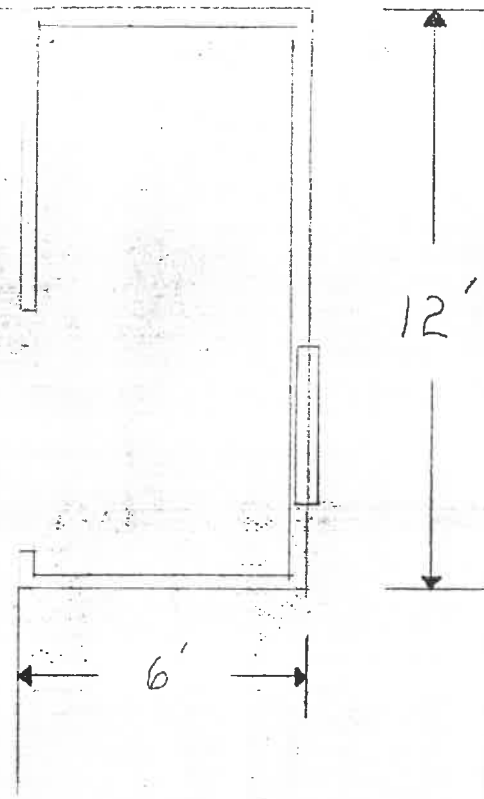
SIDE ELEVATION



REAR ELEVATION

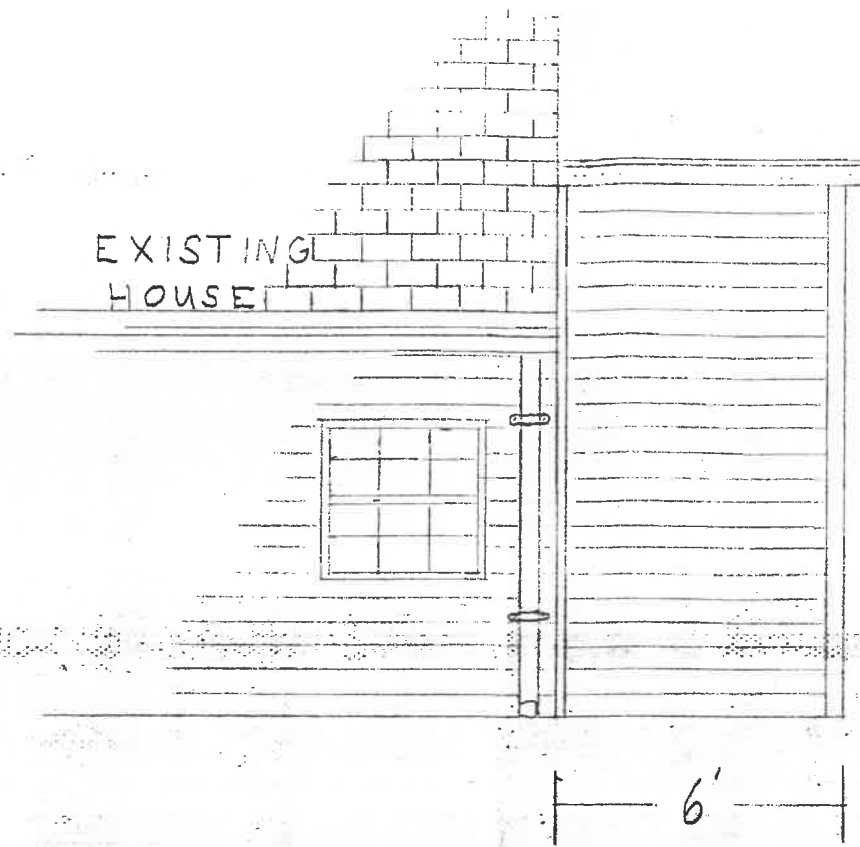
TOLERANCES (EXCEPT AS NOTED)	REVISIONS			OSCAR PRECHT		
	NO.	DATE	BY			
DECIMAL	1			330 UNION ST. NAP.	SCALE 1/4" = 1'	MATERIAL
±	2					
FRACTIONAL	3			DRAWN BY <i>TW</i>	DATE	DRAWING NO.
±	4			CHK'D	APP'D	
ANGULAR	5			TRACED		
+						

EXISTING HOUSE



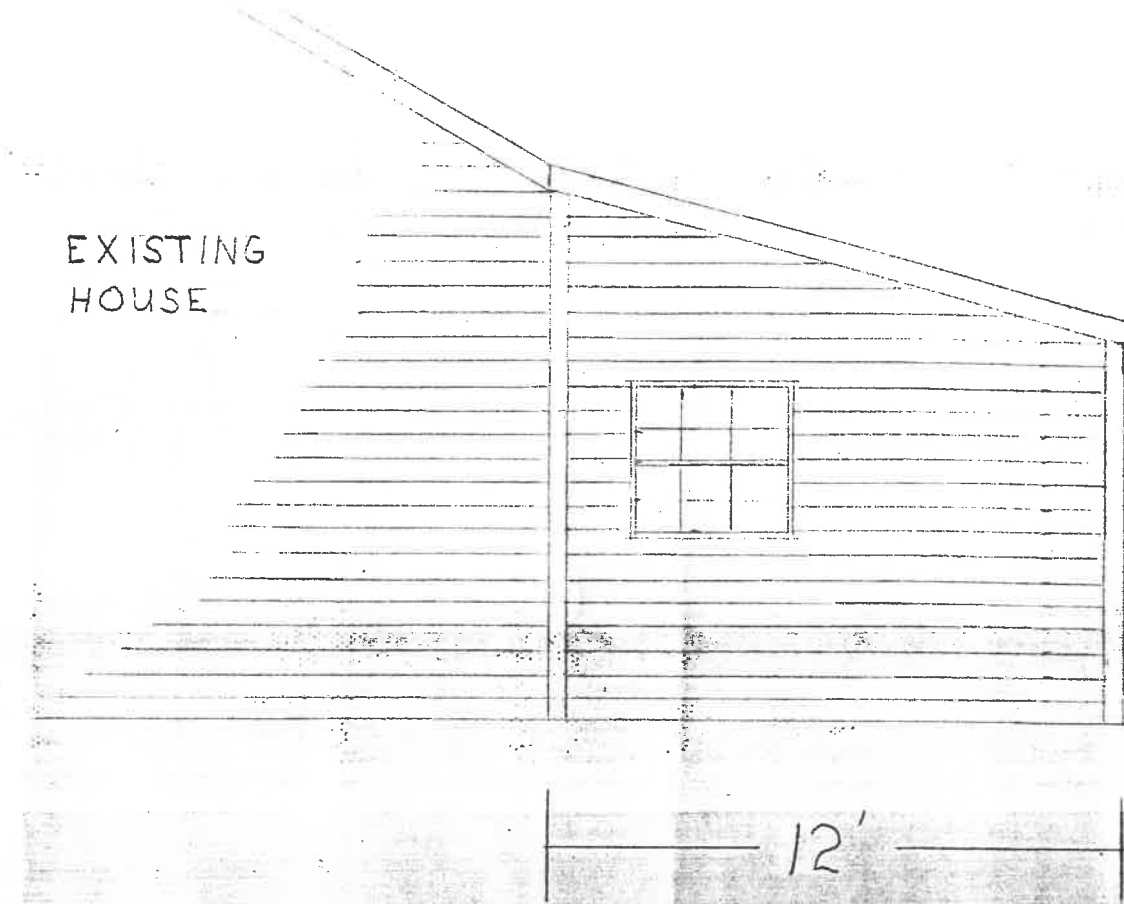
FLOOR PLAN

EXISTING HOUSE

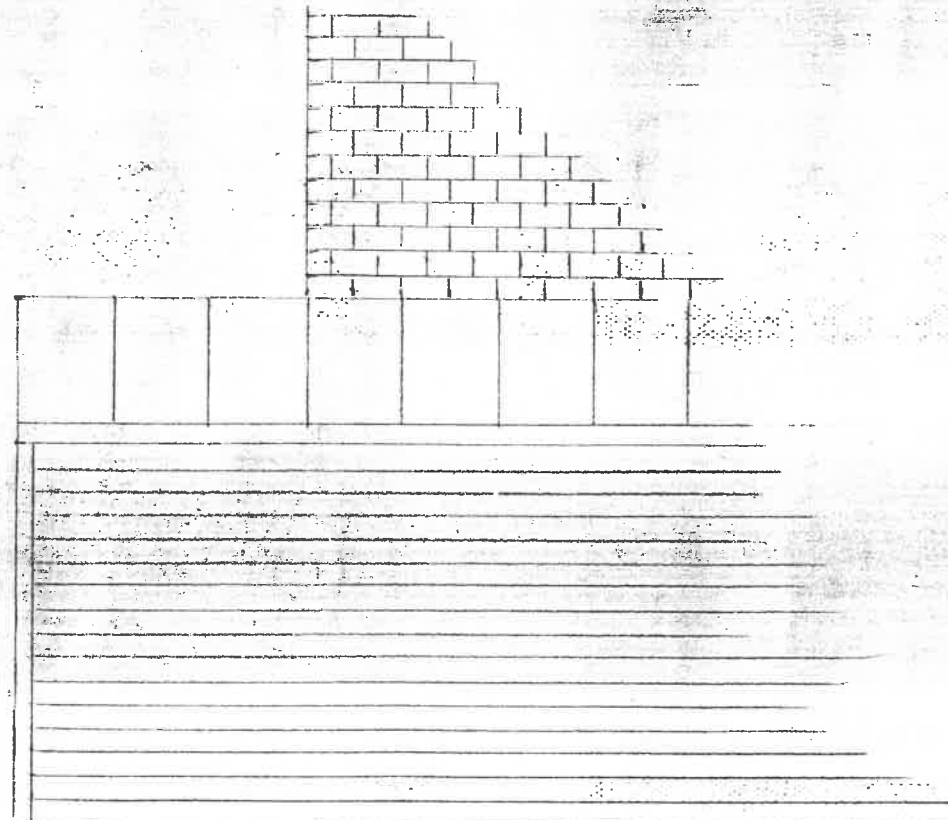


FRONT ELEVATION

EXISTING HOUSE



SIDE ELEVATION



REAR ELEVATION

TOLERANCES (EXCEPT AS NOTED)	REVISIONS			OSCAR PRECHT
	NO.	DATE	BY	
DECIMAL	1			330 UNION ST. NAP DRAWN BY <i>TW</i> SCALE 1/4" = 1' CHK'D DATE TRACED APP'D
±	2			
FRACTIONAL	3			
±	4			
ANGULAR	5			

